

CBE REJUVENATION PROJECT

PROGRAMMING REPORT



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PROJECT OVERVIEW AND EXECUTIVE SUMMARY

June 30, 2022

PROJECT OVERVIEW

The Cannon Beach Elementary Rejuvenation Project is an adaptive re-use project aimed at reactivating the former Cannon Beach Elementary School and NeCus Park site for use by Cannon Beach visitors and residents, businesses and the Clatsop Nehalem Confederated Tribe for a variety of community interests. The design of the project will take place in two primary phases. Phase 1 is Programming and Schematic Design during which the Design Team has and will continue to meet with public, Tribal and Ownership stakeholders to determine the program for the project and subsequently develop a schematic-level design in tandem with community input at various design milestones. Phase 2 of design is to further develop the building and site design conceptualized during Phase 1 and to create working drawings for Land Use entitlement and building permit acquisition and ultimately for construction of the project. This Programming Report is the culmination of the Design Team's programming efforts and will be used as the basis of design in moving forward into the Schematic Design task of Phase 1. Please refer to the Project Design Schedule in Section 6 for the current estimated project design timeline.

EXECUTIVE SUMMARY

Existing Site and Structures

The 2.5 acre project site is situated at the north end of Cannon Beach and consists of multiple taxlots zoned 'IN' (Institutional). It is bordered by Ecola Creek to the north, Fir Street to the east, Beaver Street to the south and undeveloped city-owned property with beach access to the west. Zoning adjacent to the property includes 'E' (Estuary) to the north and west, 'PK' (Park Management) to the east and a combination of 'C1' (Limited Commercial) and 'R3' (High Density Residential) to the south.

As the site of the former Clatsop-Nehalem Tribal village of 'NeCus' the site is nationally recognized as culturally significant and is considered one of the last best preserved Native American heritage sites on the West Coast. Given its location on the estuary where Ecola Creek discharges to the Pacific Ocean as well as the diversity of resident and migrating wildlife that frequent the bordering riparian area, the site is also recognized as both geographically and ecologically significant. These unique features and cultural heritage of the project site have inspired significant interest amongst public and Tribal stakeholders who have been actively engaged throughout this programming phase of the project.

The site's terrain is predominantly flat and landscaped with field grass. A large amount of fill sand was previously placed along a portion of the estuary bank to create more area for playground and recreation and resulted in creating a steep transition from the turf field to the estuary. The riparian area between the turf field and estuary bank contains a variety of native and non-native shrubs, willows, grasses and perennials, as well as invasive blackberries. There are newly planted trees along the estuary bank on the north and east side of the site where the fill area was placed. The riparian area on the west side of the site that still contains a natural transition to the estuary bank contains a mature spruce grove that provides for a unique experience of the site.

Site vehicular access is by its frontage with Beaver Street as well as a gravel drive at the southwest corner of the site via N Spruce Street. A small asphalt-paved area exists on-site and is currently used as a vehicle turnaround by patrons of the food bank as well as miscellaneous recreational uses by NeCus Park users. Existing parking for the site is limited to three off-street paved stalls at the site's southeast corner and parallel on-street parking along Beaver Street.

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The site contains three existing buildings of various construction types and functions. Two of the existing buildings (Structures 1 and 2 below) were last occupied by Cannon Beach Elementary School and have been vacant since 2013. The third building (Structure 3 below) was also occupied by the elementary school and now supports operations of the Cannon Beach Community Food Pantry. Additional details for each structure are as follows:

Structure 1: Henceforth referred to as the 'Classroom Building' is an approximately 4,520 square foot wood frame structure with slab-on-grade foundation built in 1950. The building consists of classrooms, administrative offices and ancillary spaces including a covered walkway on the north side of the building. This building and covered walkway were re-roofed in 2021 with a single-membrane TPO system. Exterior finishes include brick veneer at frontage elevation (south side), exposed concrete masonry with murals and fenestration.

Structure 2: Henceforth referred to as the 'Gym Building' is an approximately 7,034 square foot wood framed barrel vault structure with slab-on-grade foundation containing an open vaulted gym space and a 964 square foot classroom mezzanine with cafeteria and ancillary spaces below. The building also contains a 415 square foot addition at the northeast corner formerly housing the school's kitchen.

Structure 3: Henceforth referred to as the 'Food Bank' is an approximately 3,300 square foot wood framed structure with crawl space foundation. This structure is not incorporated with the current scope of work of the CBE Rejuvenation Project beyond basic site programming.

The Classroom and Gym Buildings were subjects of a seismic evaluation and enhancement project by ZCS Engineering and Architecture in 2021. Roof level seismic upgrades and a re-roof for the Classroom Building were completed in 2021. Wall and foundation level seismic improvements for the Gym Building are expected to be completed this summer (Summer 2022) with roof-level seismic improvements and re-roof being deferred to Spring of 2023 so as to run concurrent with building improvements designed as part of this project.

The building envelope of each of these three structures was assessed by RWDI and were found to be in fair to poor condition. See RWDI's Envelope Enclosure Report (Exhibit D) for additional information on the condition of the envelope assemblies and RWDI's recommendations. Additionally, the electrical and HVAC systems for the Classroom and Gym buildings were assessed by Sazan Group and found to be in need of replacement and/or upgrades—Please see their full report and recommendations in attached Exhibit F. For the purpose of this project, both the Classroom Building and the Gym Building are expected to remain and be adapted and refurbished for re-use.

Programming Methodology

The programming for the project was conducted transparently and using several widely accepted information gathering and programming techniques over the course of approximately two months and as follows:

- Community outreach with project stake holders, including Ownership, members of the Clatsop Nehalem Confederated Tribe, business owners, recreation and environmental groups, Cannon Beach residents and visitors.
- Use of surveys to obtain project goals and interests from stakeholders unable to attend the Community Outreach Events.
- Use of a project website (created by the City of Cannon Beach) as a tool to help gauge public sentiment and interests.

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- Attendance and participation in public City Council meetings.

Information was gathered by the Design Team during these events then categorized and prioritized. See attached 'Exhibit G: Program Discovery Packet' for the prioritization methods used and resulting findings.

The Design Team met with City Council to present our findings from the Community Outreach Events, then in a separate Ownership Stakeholder work session we met with them to discuss the City's goals for the project and to identify areas of commonality amongst all stakeholder groups. Project interests and objectives gathered from this Ownership Stakeholder work session were then incorporated with our previous stakeholder findings and used to develop a recommended project program as described in the 'Recommendations' section below and as graphically represented in Sections 2 through 4 of this report.

Recommendations

In order to address the highest number of prioritized goals and interests of each of the stakeholder groups the project site and buildings are required to be flexible in nature. As such the recommendations throughout this section and subsequent sections are provided with the concept of flexibility at the forefront and in order to maximize the site's versatility and ability to accommodate multiple uses within the same spaces.

Site:

Our recommended site program is divided into seven distinct use categories described as follows:

- Plaza/ Bus Stop
- Community Garden
- North Patio
- Recreation Field
- Amphitheater & Fire Pit
- Riparian Corridor
- Estuary Beach

A site bubble diagram/programmatic layout is provided in Section 2 Project Site which provides a description of each of these spaces and their approximate locations on the site. These categories are influenced by stakeholder needs including the ability to host large public and private outdoor events and recreation while preserving the existing underlying NeCus Village and ecologically sensitive riparian lands bordering the estuary.

In order to optimize the flexibility of the site the Project Team recommends 'soft borders' between the various uses to the maximum extent practicable, such that areas indicated as different categories may be open to each other or otherwise combined to meet the needs of a particular function. An example of this is the Recreation Field supporting the North Patio for uses such as a farmers market, car show or an outdoor art exhibit where a large expanse of space is needed and the use of both hardscape and turf areas may be beneficial.

Site parking is anticipated to be accommodated/mitigated through the use of several strategies alternative to additional on-site surface parking and will continue to be explored during the Schematic Design Phase. Such strategies include encouragement of alternative means of transportation (walking, biking, shuttle/bus, etc.) by extending public sidewalks and crosswalks to the site, providing ample bicycle parking and devoting space for a sheltered bus/shuttle stop and vehicle drop off area in the Plaza. Beaver Street could be made to

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accommodate diagonal parking at the site's frontage if made a one-way street which would increase parking by approximately twelve stalls. We recommend if adding these diagonal stalls, that those not striped ADA accessibility, be designated for carpool use. Other methods such as shared parking with neighboring commercial uses that have offset peak parking hours, temporary event parking on the existing pavement north of the Classroom Building and managing event scheduling so as to avoid overlap with other high volume community functions be employed so as to mitigate parking needs. Please see Site Civil Preliminary Observations (Exhibit A) by Red Plains for additional comments and recommendations regarding parking and site access.

While areas beyond the project site are not within the scope of the current project, it is important to note that the project site (currently NeCus Park) is adjacent to two other city-owned public parks as well as additional public-owned beach access properties. It is the opinion of the Design Team that additional pedestrian connectivity between these spaces will enhance the function of each and lend towards a greater overall community asset for the Cannon Beach community. Such pedestrian connections could include a foot bridge across Ecola Creek from the Project Site to Les Shirley Park, extension of the on-site nature trail to the Ecola Creek Nature Trail, and continuation of existing public sidewalks to the site from Ecola Creek Park. These features are indicated on the site bubble diagram/programmatic layout in Section 2.

Given the site's location and climate, combined with other unique aspects of the project, there are ample opportunities for sustainable design measures to be explored and implemented in the project. A few of these strategies are discussed below.

- **Site Design:**
 - Protect Ecola Creek water quality from site runoff by, Robust erosion control measures during construction, particularly during grading operations.
 - Consider Salmon Safe, a certification program protecting water quality and habitat through landscape maintenance practices and storm water management.
 - Selection of outdoor lighting fixtures meeting 'dark sky' requirements to reduce light pollution and its impact on wildlife.
- **Energy Conservation:**
 - With the site's unobstructed southern exposure on-site renewable energy via solar panels may be an efficient option, but due to a relatively high average number of overcast days in Cannon Beach we recommend additional site solar studies to be performed during Schematic Design to confirm this option and estimate a life cycle cost analysis. If determined to be viable, solar panels could be incorporated above the ground (on the Classroom Building roof, though only approximately 25% coverage due to current capacity and loading of the existing roof members) or possibly as a new canopy structure replacing the current canopy on the north side of the Classroom Building. Solar panels may also be ground-mounted in a site array, however consideration should be given that for ground mounted arrays to be viable they would need to be located out of shade and would reduce outdoor space otherwise available for events and recreation.
 - Replacement of existing single pane windows with storefront systems featuring a 'low e' coated double pane glazing unit and thermally broken frame.
 - Use of louvers at the gable end walls of the gym to take advantage of natural ventilation and temperature control.
- **Water Efficiency:** Reduce reliance on public potable water sources by,
 - Use of native plants that do not require supplemental irrigation once established.
 - Consider rainwater capture for non-potable uses (i.e. flushing toilets/urinals and irrigation). Cannon Beach received an average of 89 inches of rain per year.
 - Use of low flow plumbing fixtures.

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See Sustainability Report (Exhibit C) by RWDI for additional measures and recommendations.

For additional site observations and recommendations relating to civil and landscape design please refer to attached Exhibits A and B by Red Plains and JJLA respectively.

Building

Recommended building programming is divided into two levels of scope of work. 'Baseline' is the scope recommended to bring the building to meet current structural, life safety and energy codes as well as additional interior and exterior upgrades required to accommodate essential stakeholder functions. 'Baseline Plus' incorporates additional scope of work that is intended to meet additional stakeholder goals and interests and at additional expense. Building bubble diagrams/programmatic layouts in Section 3 highlight the difference in these two levels of scope.

Classroom Building:

This building is envisioned to house flexible 'flex' education spaces such as classrooms, workshops, meeting rooms, exhibition spaces and other similar uses for both public and private functions. In addition to the flex spaces, this building will feature a Welcome Center envisioned to be a continuation of the site's Tribal heritage education and display that begins with the Plaza. The Welcome Center is anticipated to also include information about the site, its geographical and ecological characteristics, as well as information about the City of Cannon Beach and surrounding area. Design upgrades to this structure are expected to include a seismic retrofit, energy upgrades including window replacement and new rooftop HVAC system, new sprinkler system, and new lighting and finishes throughout. Additionally, we recommend that one interior wall between two of the classrooms be removed and replaced with a folding partition such that two rooms can optionally be used as a single large room. Existing single-occupancy toilet rooms are expected to be removed at each classroom and replaced with a multiple-occupant toilet room for each sex, potentially at the northeast corner of the building.

Some of our recommended enhanced 'Baseline Plus' programmatic upgrades for the Classroom Building include a 360 square foot building addition connecting the Classroom Building and Gym Buildings while creating additional space for the Welcome Center, installing additional roof framing members to support roof-mounted solar panels for on-site renewable energy (if more than approximately 25% roof coverage) and incorporating storefront glazing at the north wall of the classrooms to accommodate views of the site and estuary. We have included in Section 3 typical concept layouts of how both a single and double classroom could be set up to accommodate a number of high-priority stakeholder uses.

Gym Building:

This building is envisioned to be used as event flex space to support a wide range of interior functions involving large gatherings, including exhibitions, performing arts, breakfast/dinner functions, conferences and galas. When not otherwise scheduled the gym space will function as a recreation center open to the public and is envisioned to be striped for a variety of indoor sports and recreation, including basketball, pickle ball, volleyball and walking track among others. The existing mezzanine at the north end of the building is not usable by the public due to its various floor structure levels and associated transitions not meeting accessibility requirements, however it is likely possible to use this space for back-of-house audio/video and lighting controls, mechanical and utility

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spaces and limited storage. The space beneath the mezzanine would likely also serve as storage and utility space and could house a facility manager's office if determined to be needed as part of the City's facility management plan for this site.

The recommended 'Baseline' scope of work for the Gym building includes a roof-level seismic upgrade and re-roof, new interior and exterior finishes, and new building systems throughout including sprinklers, HVAC, lighting, and audio/visual. We have also recommended in our Baseline scope of work that a catering kitchen be installed to support meal-based events and where vendors can bring pre-cooked food for warming prior to serving. The catering kitchen could also function as a teaching kitchen to support the food bank and other programs and groups if provided with the proper accessories. A moderate level of acoustic upgrades to support music and choir performances is also anticipated – Refer to Preliminary Acoustics Report (Exhibit E) by RWDI for acoustic test results and recommendations.

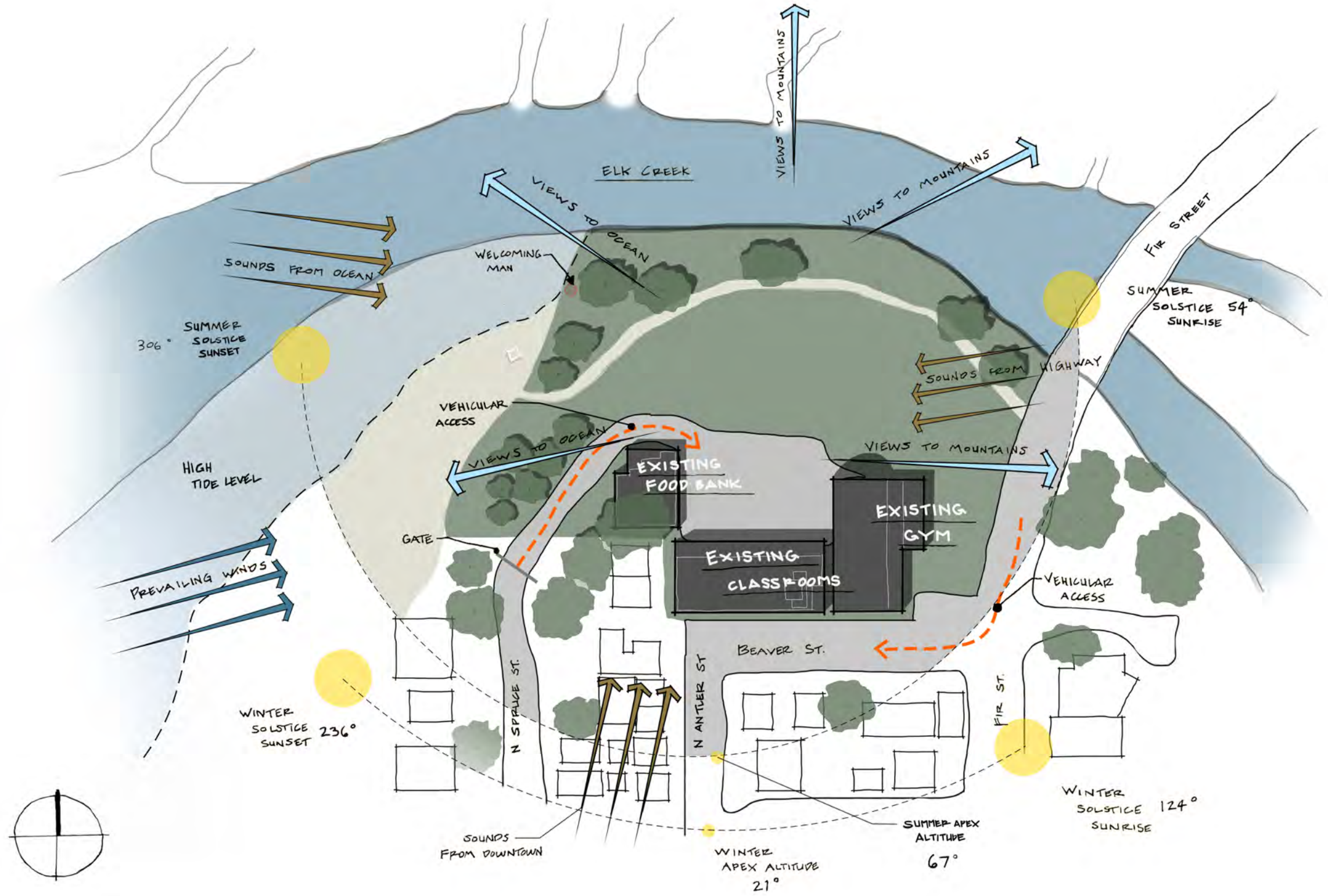
Additional enhancements are incorporated with our Baseline Plus programming and scope of work recommendations and include demolition of the existing mezzanine and spaces beneath the mezzanine, incorporating a window wall at the north gable end wall to visually connect the large event space to the park and estuary, and upgrading the catering kitchen to a commercial kitchen to facilitate on-site cooking and serving. With the need for ample storage in a flexible event space and with the recommended demolition of the existing mezzanine, the Baseline Plus enhancements include a storage mezzanine to be located above the commercial kitchen and provided with an equipment lift for efficient loading and unloading. The new storage mezzanine would also likely serve the functions of back-of-house audio/video controls and, if determined to be needed, a facility manager's office.

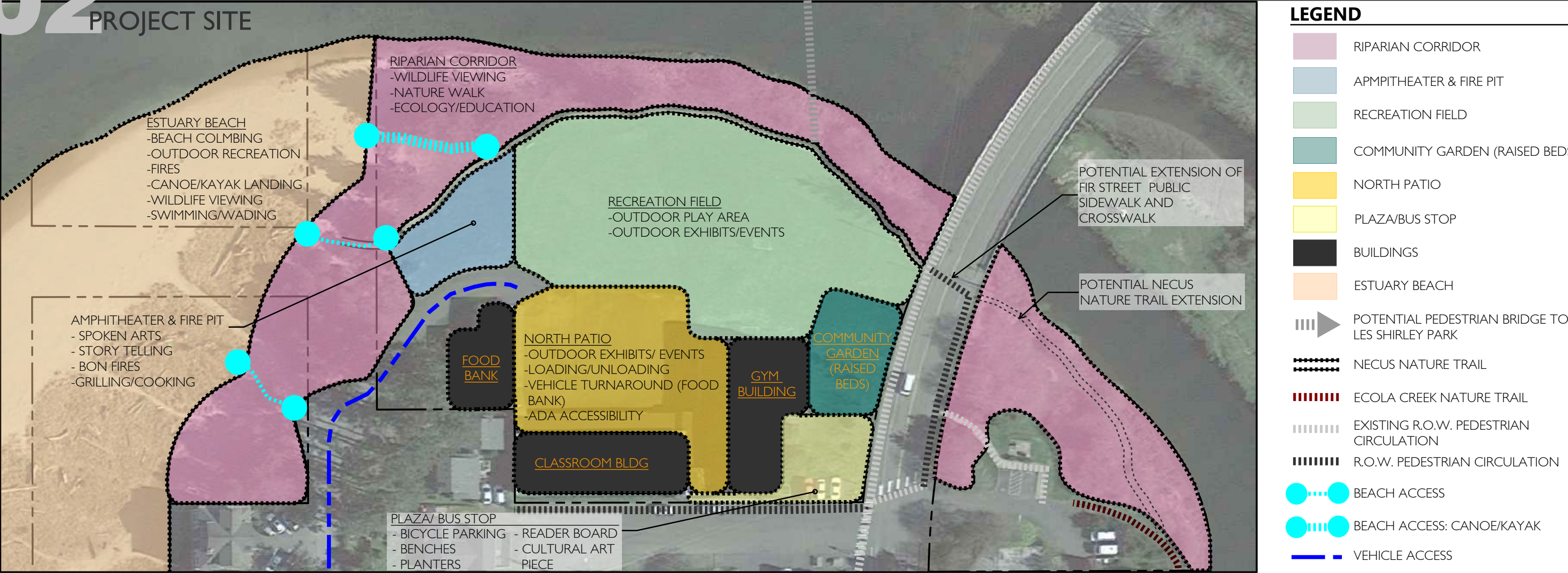
Baseline Plus recommended scope incorporates a connecting addition between the Gym Building and Classroom Building via an enlarged Welcome Center as noted above. To accommodate relocation of the main entry into the Gym Building and due to the existing barrel vault shell construction of the Gym, this scope of work is expected to require new full height structural 'ribs' to mitigate for the existing 2x6 ribs that will need to be cut to accommodate new openings. Additional Baseline Plus scope includes enhancements to acoustics mitigation, audio/visual systems, and exterior architectural aesthetics.

Conclusion:

The recommendations within this Programming Report are the culmination of two months of extensive community outreach and meetings with key project stakeholders and City of Cannon Beach staff. While not all documented stakeholder objectives and concerns can be addressed with a single program, we have made every effort to ensure that all stakeholders represented throughout this phase of the project are accommodated with this recommended program for the CBE Rejuvenation Project.

End of Executive Summary





DESCRIPTION

THIS SITE BUBBLE DIAGRAM INDICATES SITE PROGRAMMING WITH A CONCEPTUAL LAYOUT INDICATING PRIMARY ADJACENCIES AND GENERAL FUNCTIONS OF EACH SPACE TYPE. IT IS NOT INTENDED TO REPRESENT FINAL SITE LAYOUT AND/OR FINAL AREA (SIZE) DEDICATED TO EACH FUNCTION. A DETAILED DESCRIPTION OF EACH SPACE TYPE IS BELOW:

- PLAZA/ BUS STOP:** AN OUTDOOR INTRODUCTION TO THE SITE AND POINT OF ARRIVAL. THIS SPACE IS ENVISIONED TO SPEAK TO THE TRIBAL HERITAGE OF THE SITE AS THE PARTICIPANT PROGRESSES TO THE WELCOME CENTER. AMENITIES THIS SPACE INCLUDE BICYCLE RACKS, PLANTERS/BENCHES, READER BOARD INDICATING UPCOMING EVENTS, TRIBAL SCULPTURE(S), DROP-OFF AREA AND COVERED BUS/SHUTTLE SHELTER.
- COMMUNITY GARDEN:** A YEAR-ROUND GARDEN MEANT TO ACTIVATE THE SITE WITH LOCAL GARDENING ENTHUSIASTS. THE GARDEN IS ENVISIONED TO ENHANCE THE COOKING FUNCTION AND FOOD BANK FUNCTION OF THE SITE IN WARMER MONTHS WITH FRESH HERBS, VEGETABLES AND FRUITS.
- NORTH PATIO:** THIS EXISTING PAVED AREA COULD BE RESURFACED OR REPLACED WITH A DIFFERENT HARDSCAPE MATERIAL. IT WILL SERVE A LARGE VARIETY OF USES FOR PUBLIC AND PRIVATE FUNCTIONS, OUTDOOR EXHIBITS AND EVENTS. IT IS LARGE ENOUGH TO BE FITTED WITH A PORTABLE PAVILION FOR COVERED OUTDOOR TABLES AND CHAIRS OR FOR COVERED OUTDOOR FUNCTIONS. THIS SPACE WILL CONTINUE TO BE USED FOR VEHICLE TURNAROUND FOR THE FOOD BANK, AS WELL AS STAGING/DROP-OFF FOR EXHIBITIONS AND EVENTS. THE BACK PATIO IS ALSO ENVISIONED TO BE AN ADA COMPLIANT SPACE FOR THOSE WITH MOBILITY CHALLENGES WHO WISH TO EXPERIENCE THE SITE.

- RECREATION FIELD:** GENERAL SPORTS FIELD AND DAY PARK USES. ALSO SERVES AS AN EXTENSION OF THE BACK PATIO FOR LARGE OUTDOOR EVENTS AND EXHIBITIONS. THIS AREA IS ENVISIONED TO HAVE LOW SOILS DISTURBANCE SO AS NOT TO DISRUPT EXISTING TRIBAL ARTIFACTS. A NEW EAST-FACING WELCOMING MAN IS ENVISIONED AT THE EAST END OF THIS SPACE TO POSSIBLE VISITORS APPROACHING FROM THE BRIDGE OR TRAVELING THE NECUS NATURE TRAIL.
- AMPHITHEATER & FIRE PIT:** A SMALL OUTDOOR VENUE FOR PERFORMING/SPOKEN ARTS AND STORY TELLING. THIS SPACE IS ENVISIONED TO HAVE A FIRE PIT AT ITS CENTER WITH A DETACHABLE GRILLING GRATE THAT CAN BE USED FOR BONFIRES OR FOR COOKING. THE FIRE PIT MAY SUPPORT THE STORY TELLING AND SPOKEN ARTS FUNCTION OF THE SPACE.
- RIPARIAN CORRIDOR:** A TRAVEL CORRIDOR AND HABITAT FOR VARIOUS WILDLIFE SPECIES AND BORDERED BY THE NECUS NATURE TRAIL. THIS AREA IS ENVISIONED TO BE ENHANCED WITH NATIVE PLANTINGS -- NO SIGNIFICANT MODIFICATIONS TO THIS AREA ARE ENVISIONED. THE RIPARIAN CORRIDOR AREA HAS POTENTIAL TO SERVE AS A CONNECTING FABRIC BETWEEN NECUS PARK (SUBJECT SITE), LES SHIRLEY PARK TO THE NORTH ACROSS THE ESTUARY AND ECOLA CREEK PARK TO THE EAST ACROSS FIR STREET WITH ENHANCED PEDESTRIAN CIRCULATION (E.G., A FOOT BRIDGE ACROSS THE ESTUARY AND EXTENSION OF THE EXISTING FIR STREET PUBLIC SIDEWALK INFRASTRUCTURE, INCLUDING CROSSWALK, WHERE INDICATED ON ABOVE CONCEPT LAYOUT).
- ESTUARY BEACH:** GENERAL BEACH USE, INCLUDING WADING/SWIMMING, PICNICS, BEACH COMBING, BEACH SPORTS AND WILDLIFE VIEWING. DEBRIS PICK-UP IS ENVISIONED FOR THIS AREA TO ENHANCE ITS USABILITY.

03 PROJECT STRUCTURES

EXISTING PROGRAM

CLASSROOMS			GYMNASIUM - FIRST FLOOR			GYMNASIUM - MEZZANINE		
	AREA (SF)	WxL		AREA (SF)	WxL		AREA (SF)	WxL
CLASSROOMS	3569		VESTIBULE	35		CLASSROOMS	936	
CLASSROOM 1	888.5	24'-3"x40'-3"	VESTIBULE 1	18	4'-11"x4'-4"	CLASSROOM	211	19'-5"x12'-4"
CLASSROOM 2	897.5	24'-0 7/8"x40'-3"	VESTIBULE 2	17	4'-7"x4'-4"	MUSIC CLAS	725	28'-8"x23'-3"
CLASSROOM 3	894	23'-11 3/4"x40'-3"				STORAGE	28	6'-11"x4'-8"
CLASSROOM 4	889	23'-10 3/4"x40'-3"	BATHROOMS	113		TOTAL SF	964	
BATHROOMS	317		BATHROOM 1	86	8'-9"x13'-1"			
BATHROOM 1	27	5'-1"x5'-11"	BATHROOM 2	27	6'-3"x5'-8"			
BATHROOM 2	27	5'-1"x5'-11"	CLOSETS	134				
BATHROOM 3	27	5'-1"x5'-11"	CLOSET 1	58	16'-10"x8'-5"			
BATHROOM 4	27	5'-1"x5'-11"	CLOSET 2	42	12'-5"x4'-3"			
BATHROOM 5	18	3'-3 3/4"x7'-0"	CLOSET 3	34	7'-4"x5'-8"			
GIRLS T.R.	105	11'-4"x11'-1"	STORAGE	401				
BOYS T.R.	86	12'-5"x11'-1"	STORAGE 1	51	11'-7"x5'-3"			
OFFICES	252		STORAGE 2	256	15'-5"x20'-5"			
OFFICE 1	88	10'-11"x9'-4"	STORAGE 3	94	9'-1"x12'-0"			
OFFICE 2	164	15'-7"x11'-2 1/2"	CAFETERIA	581	42'-10"x17'-3"			
CLOSETS	77		GYM	5355	59'-4 1/2"x93'-9"			
CLOSET 1	10	3'-4"x3'-11"	KITCHEN	415	14'-6"x32'-4"			
CLOSET 2	67	13'-0"x7'-0"	TOTAL SF	7,034				
JANITOR	34	8'-9"x4'-9"						
MISC. ROOM	76	15'-11"x6'-9"						
HALLWAY	51	12'-7 1/2"x4'-7 1/2"						
BOILER ROOM	144	24'-0"x6'-9"						
TOTAL SF	4,520							

PROPOSED PROGRAM

BASELINE CLASSROOMS			GYMNASIUM - FIRST FLOOR			GYMNASIUM - MEZZANINE		
	AREA (SF)	WxL		AREA (SF)	WxL		AREA (SF)	WxL
FLEX SPACE (EDUCATIONAL)	3,677	96'-1"x40'-3"	STORAGE	1,553	74'-5"x53'-2"	STORAGE	964	53'-11"x23'-6"
TOILET ROOMS	369	24'-0"x11'-1"	CATERING/TEACHING KITCHEN	585	14'-6"x52'-9"	TOTAL SF	964	
WELCOME CENTER	474	24'-0"x29'-2"	FLEX SPACE (EVENT)	4,812	59'-4 1/2"x93'-9"			
TOTAL SF	4,520		OFFICE	84	8'X10'-1'			
			TOTAL SF	7,034				

BASELINE PLUS CLASSROOMS			GYMNASIUM - FIRST FLOOR			GYMNASIUM - MEZZANINE (NEW)		
	AREA (SF)	WxL		AREA (SF)	WxL		AREA (SF)	WxL
FLEX SPACE (EDUCATIONAL)	3,677	96'-1"x40'-3"	COMMERCIAL KITCHEN	880	14'-6"x52'-9"	STORAGE	796	51'-0"x21'-3"
TOILET ROOMS	369	24'-0"x17'-10"	PHASE I	585	46'-6"x13'-8"	OFFICE	84	8'X10'-1'
WELCOME CENTER	834	36'-3 1/2"x22'-5"	PHASE II	295	39'-0"x7'-7"	TOTAL SF	880	
TOTAL SF	4,880		MEZZ LIFT	58	7'-7"x7'-7"			
			MEZZ STAIR	96	4'-6"x21'-3"			
			FLEX SPACE (EVENT)	6,000	59'-4 1/2"x93'-9"			
			TOTAL SF	7,034				

LEGEND

W - WIDTH
L - LENGTH
SF - SQAURE FOOTAGE

DESCRIPTION

THIS BUBBLE DIAGRAM REFLECTS SCOPE OF WORK REQUIRED TO MEET STRUCTURAL, LIFE SAFETY AND ENERGY CODE REQUIREMENTS AS WELL AS MINIMUM PROGRAM REQUIREMENTS AND FOR THE PURPOSE OF MAKING BOTH BUILDINGS FUNCTIONAL FOR THEIR INTENDED USES. THIS IS CONSIDERED THE 'BASELINE' SCOPE OF WORK AND INCLUDES:

- GYM BUILDING:
- SEISMIC IMPROVEMENTS
 - ROOF REPLACEMENT INCLUDING NEW ROOF INSULATION
 - NEW SPRINKLER SYSTEM
 - NEW HVAC SYSTEM
 - NEW LIGHTING
 - NEW AUDIO/VIDEO EQUIPMENT
 - NEW WALL INSULATION AT NORTH AND SOUTH END WALLS
 - NEW FINISHES THROUGHOUT INCLUDING SPORTS FLOORING WITH STRIPING (NO FINISHES FOR MEZZANINE LEVEL)
 - NEW EXTERIOR WALL CLADDING AND WEATHER BARRIER (NORTH AND SOUTH END WALLS)
 - MINIMAL ACOUSTICS UPGRADES

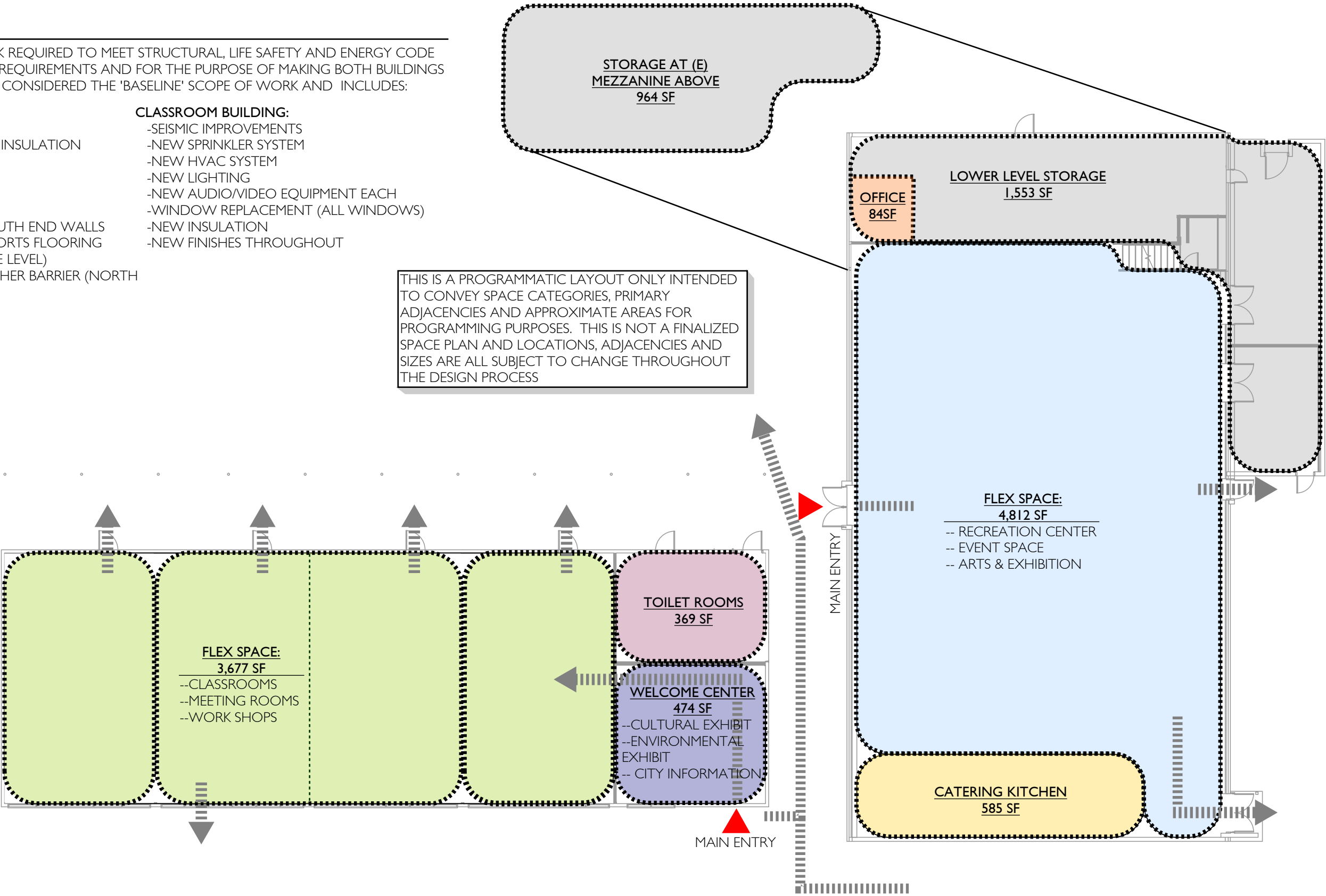
- CLASSROOM BUILDING:
- SEISMIC IMPROVEMENTS
 - NEW SPRINKLER SYSTEM
 - NEW HVAC SYSTEM
 - NEW LIGHTING
 - NEW AUDIO/VIDEO EQUIPMENT EACH
 - WINDOW REPLACEMENT (ALL WINDOWS)
 - NEW INSULATION
 - NEW FINISHES THROUGHOUT

LEGEND

- FLEX SPACE (EDUCATIONAL) 3,677 SF
- TOILET ROOMS 369 SF
- WELCOME CENTER 474 SF
- FLEX SPACE (EVENT) 4,812 SF
- CATERING KITCHEN 585 SF
- STORAGE 2,517 SF
- OFFICE 84 SF
- CIRCULATION
- MAIN POINT OF ENTRY

FOR ADDITIONAL BUILDING UPGRADES IDENTIFIED TO MEET STAKEHOLDER GOALS AND INTERESTS PLEASE SEE 'BASELINE PLUS' BUBBLE DIAGRAM.

THIS IS A PROGRAMMATIC LAYOUT ONLY INTENDED TO CONVEY SPACE CATEGORIES, PRIMARY ADJACENCIES AND APPROXIMATE AREAS FOR PROGRAMMING PURPOSES. THIS IS NOT A FINALIZED SPACE PLAN AND LOCATIONS, ADJACENCIES AND SIZES ARE ALL SUBJECT TO CHANGE THROUGHOUT THE DESIGN PROCESS



DESCRIPTION

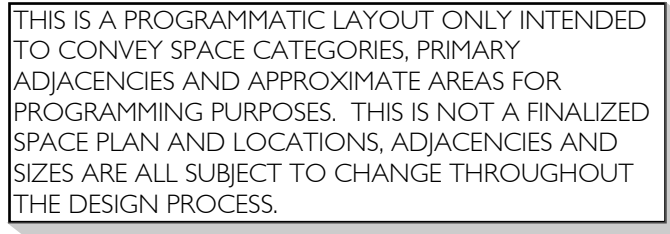
THIS BUBBLE DIAGRAM INCORPORATES ADDITIONAL UPGRADES TO THE EXISTING STRUCTURES ABOVE THOSE INDICATED IN THE 'BASELINE BUBBLE DIAGRAM'. THESE ADDITIONAL FEATURES ARE INTENDED TO MEET STAKEHOLDER PROJECT GOALS IDENTIFIED DURING THE PROGRAMMING PHASE THAT ARE BEYOND CODE COMPLIANCE UPGRADES. CIDA RECOMMENDS INCORPORATING THESE FEATURES IN THE CURRENT SCOPE OF WORK AS BUDGET ALLOWS OR CONSIDERED WITH FUTURE PHASES OF THE REMODEL. ADDITIONAL UPGRADES THIS EXHIBIT INCLUDE:

GYM BUILDING:

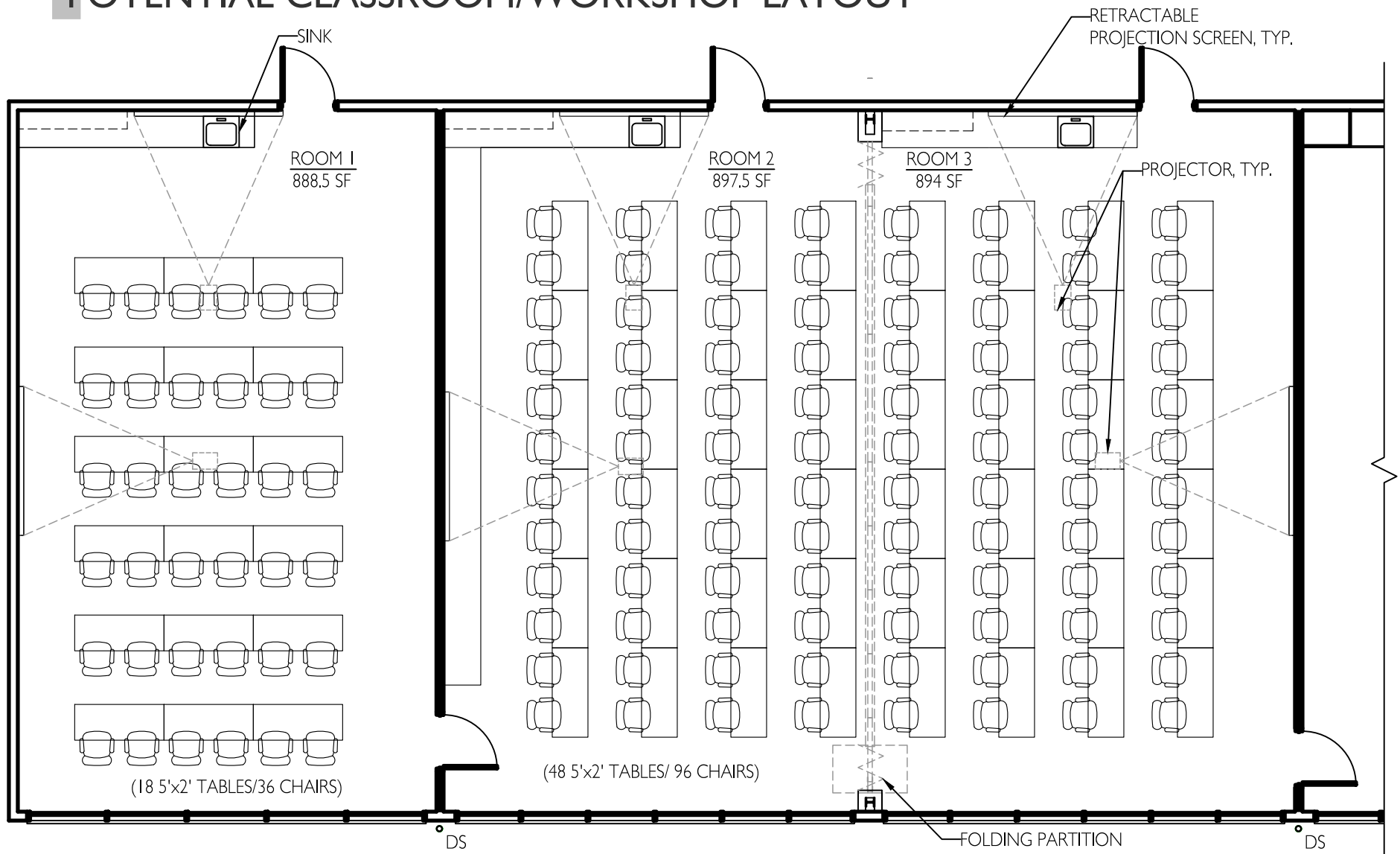
- UPGRADE BASELINE 'CATERING' KITCHEN TO 'COMMERCIAL' KITCHEN.
- ADD STORAGE MEZZANINE ABOVE KITCHEN, INCLUDING MEZZANINE LIFT AND EGRESS STAIR.
- REMOVE EXISTING MEZZANINE FOR ADDITIONAL EVENT SPACE
- ADD NEW FENESTRATION AT NORTH WALL FOR VISUAL CONNECTION TO SITE AND ESTUARY.
- REMOVE ADDITION AT NW CORNER
- ADD CONNECTING STRUCTURE BETWEEN GYM AND CLASSROOMS
- ENHANCED EXTERIOR ACCENT MATERIALS AND ARCHITECTURAL FEATURES

CLASSROOM BUILDING:

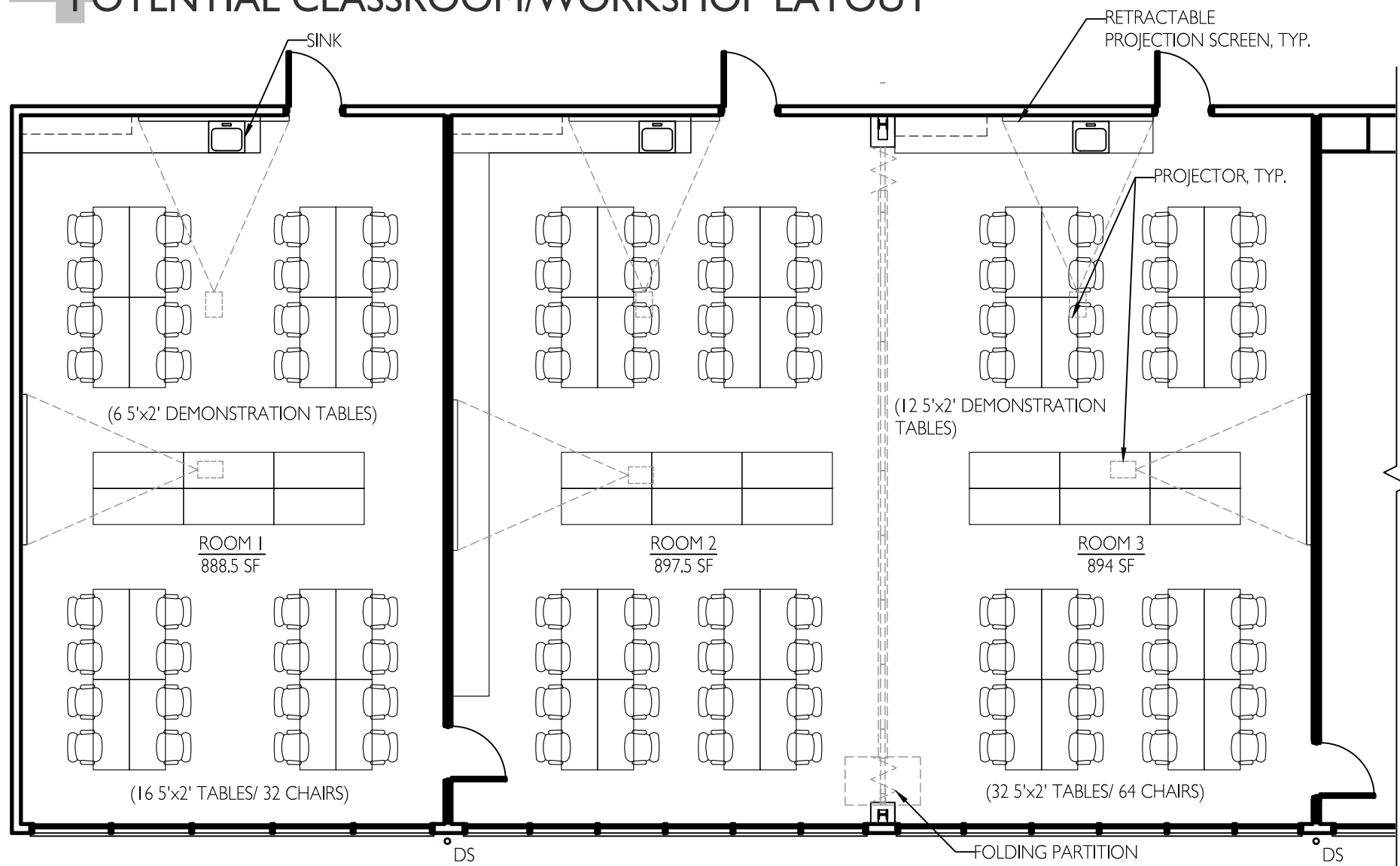
- ADD FENESTRATION ALONG NORTH WALL FOR VISUAL CONNECTION TO SITE AND ESTUARY.
- PROVIDE FOLDING PARTITION BETWEEN (2) CLASSROOMS FOR OPTIONAL USE AS SINGLE LARGE ROOM
- ENHANCED EXTERIOR ACCENT MATERIALS AND ARCHITECTURAL FEATURES
- UPGRADE ROOF STRUCTURE TO ACCOMMODATE SOLAR PANELS
- NEW ROOF MOUNTED SOLAR PANELS



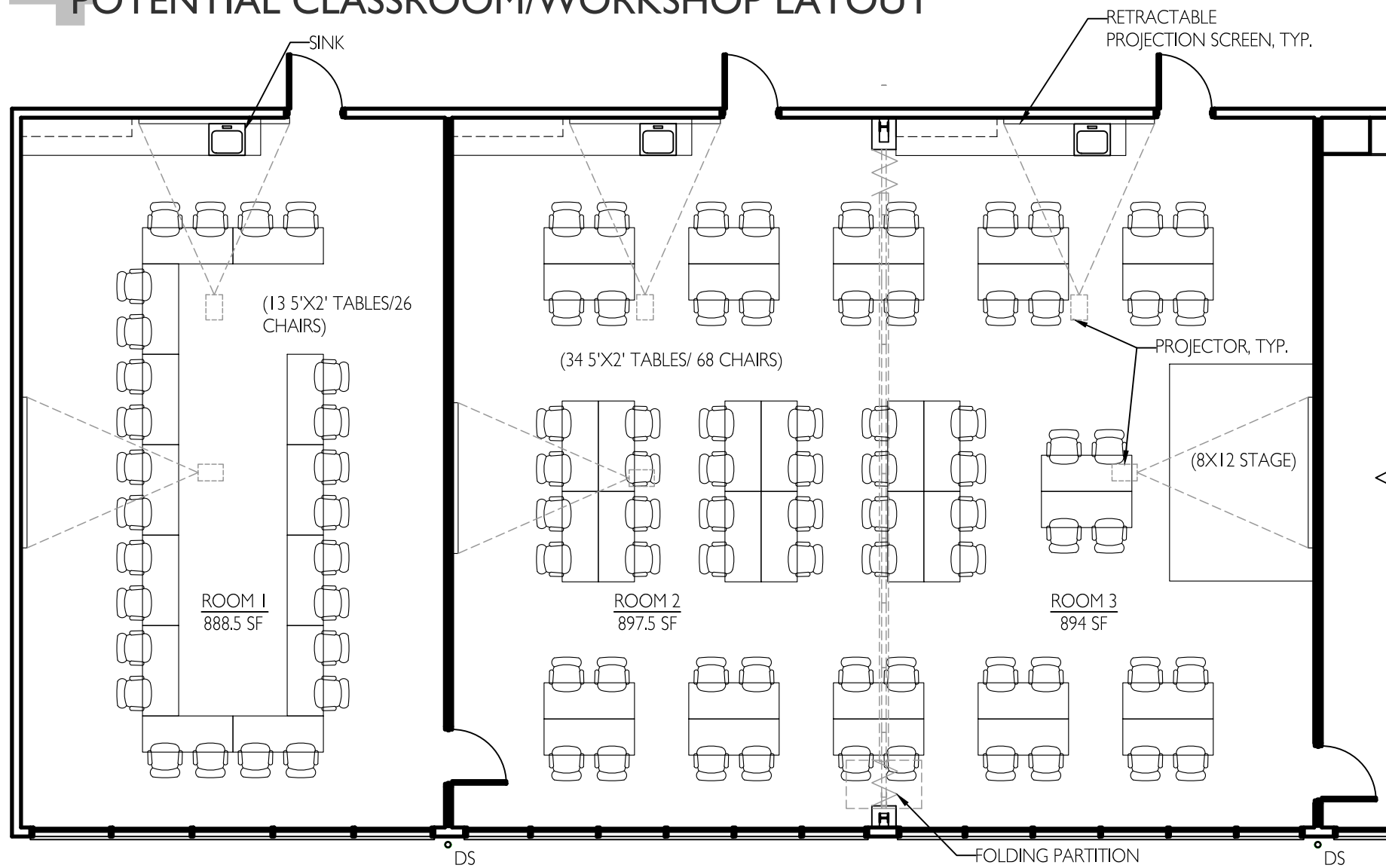
POTENTIAL CLASSROOM/WORKSHOP LAYOUT



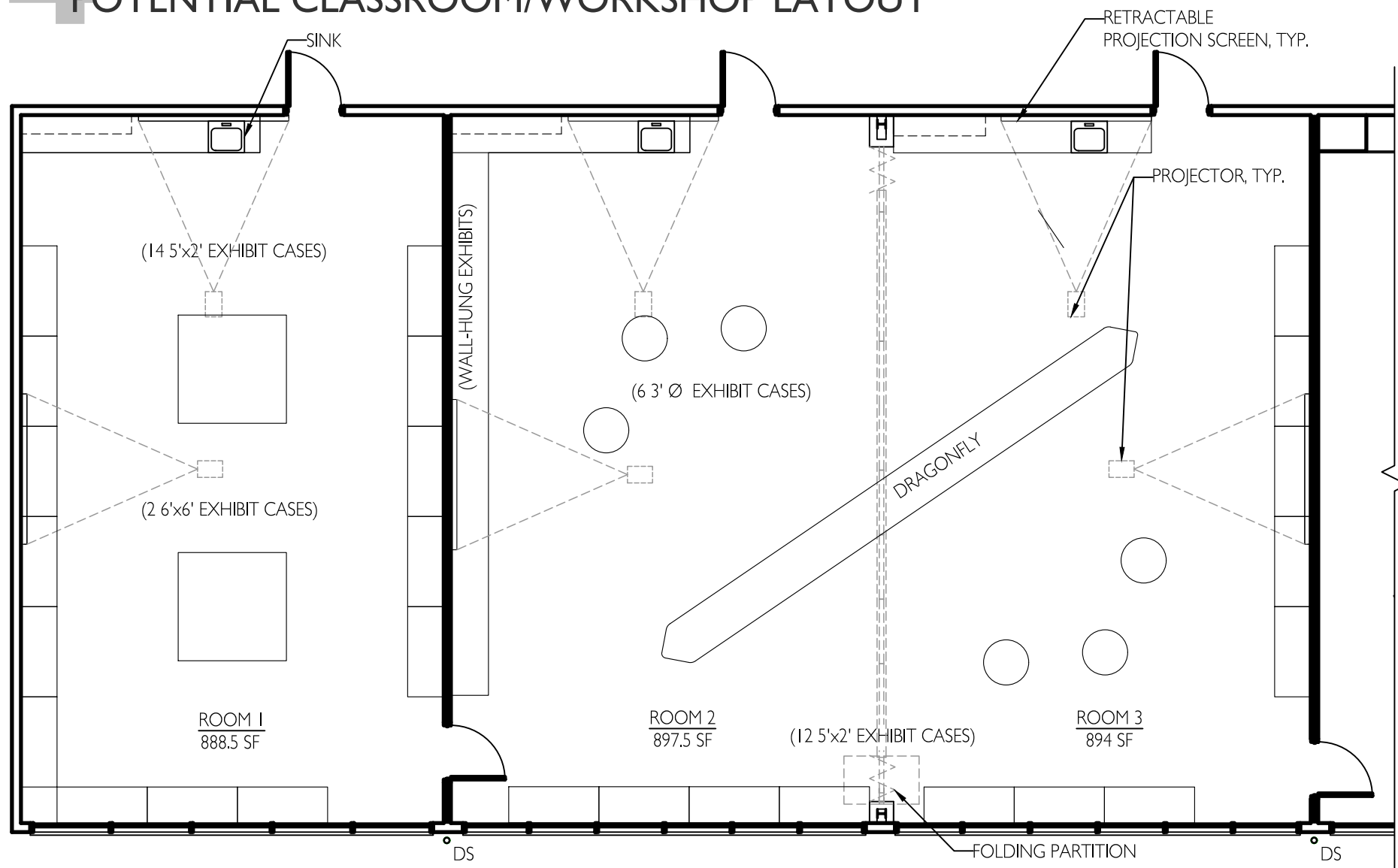
POTENTIAL CLASSROOM/WORKSHOP LAYOUT



POTENTIAL CLASSROOM/WORKSHOP LAYOUT



POTENTIAL CLASSROOM/WORKSHOP LAYOUT



Zone: IN (Institutional)

Use: Community buildings and areas which provide for educational or cultural activities (Permitted outright)

Setbacks: 25 feet (adjoining another zone or on a public right-of-way). No parking in setback. Existing structures can maintain their setbacks and if existing parking is within the setback it can remain.

Building Height: 28 feet (ridge height on pitched roof not to exceed 36 feet)

Buffer: 20 feet (Commercial Use to R3 zone)

Parking Dimensions: 9'x18' (90 degree) or 9'x22' (parallel)

Parking Landscape: 10% parking lot to be landscaped

Parking Stalls:

Gym (7,123 sf) & Classrooms (4,675 sf)

Option 1

$11,798 \text{ sf} / 400 = 30 \text{ stalls (Retail Downtown)}$

Option 2

$11,798 \text{ sf} / 400 \times 1.5 = 45 \text{ stalls (Restaurants)}$

Option 3

$7,123 \text{ sf} / 400 \times 1.5 = 26 \text{ stalls (Retail Downtown)}$

$4,675 \text{ sf} / 100 = 47 \text{ stalls (Meeting Rooms)}$

Total = 73 stalls

*Parking for the Cannon Beach Food Pantry has not been included in the calculation. It is assumed that the food bank and the CBE Rejuvenation Project would have separate operating hours, therefore the parking requirements for the CBE Rejuvenation Project would suffice for minimum parking requirements.

Occupancy

- Option 1: **393 occupants**
 - Flex Space (Educational)= 3,677 sf/150 (Business)= 43 occupants
 - Welcome Center=474 sf/ 30 (Assembly exhibit)= 16 occupants
 - Flex Space (Event)=4,812 sf/ 15 (Assembly unconcentrated)=321 occupants
 - Catering Kitchen= 585 sf/ 200 (Kitchen)= 3 occupants
 - Office=84 sf /150 (Business)= 1
 - Storage=2,517 sf/ 300 (Accessory Storage)= 9 occupants
- Option 2: **480 occupants**
 - Flex Space (Educational)= 3,677 sf/150 (Business)=43 occupants
 - Welcome Center= 834 sf/ 30 (Assembly exhibit)= 28 occupants
 - Flex Space (Event)= 6,000 sf/ 15 (Assembly unconcentrated)=400 occupants
 - Kitchen= 880 sf/ 200 (Kitchen)= 5 occupants
 - Office= 84 sf/ 150 (Business)= 1 occupant
 - Storage= 796 sf/300 (Accessory Storage)= 3 occupants

Plumbing

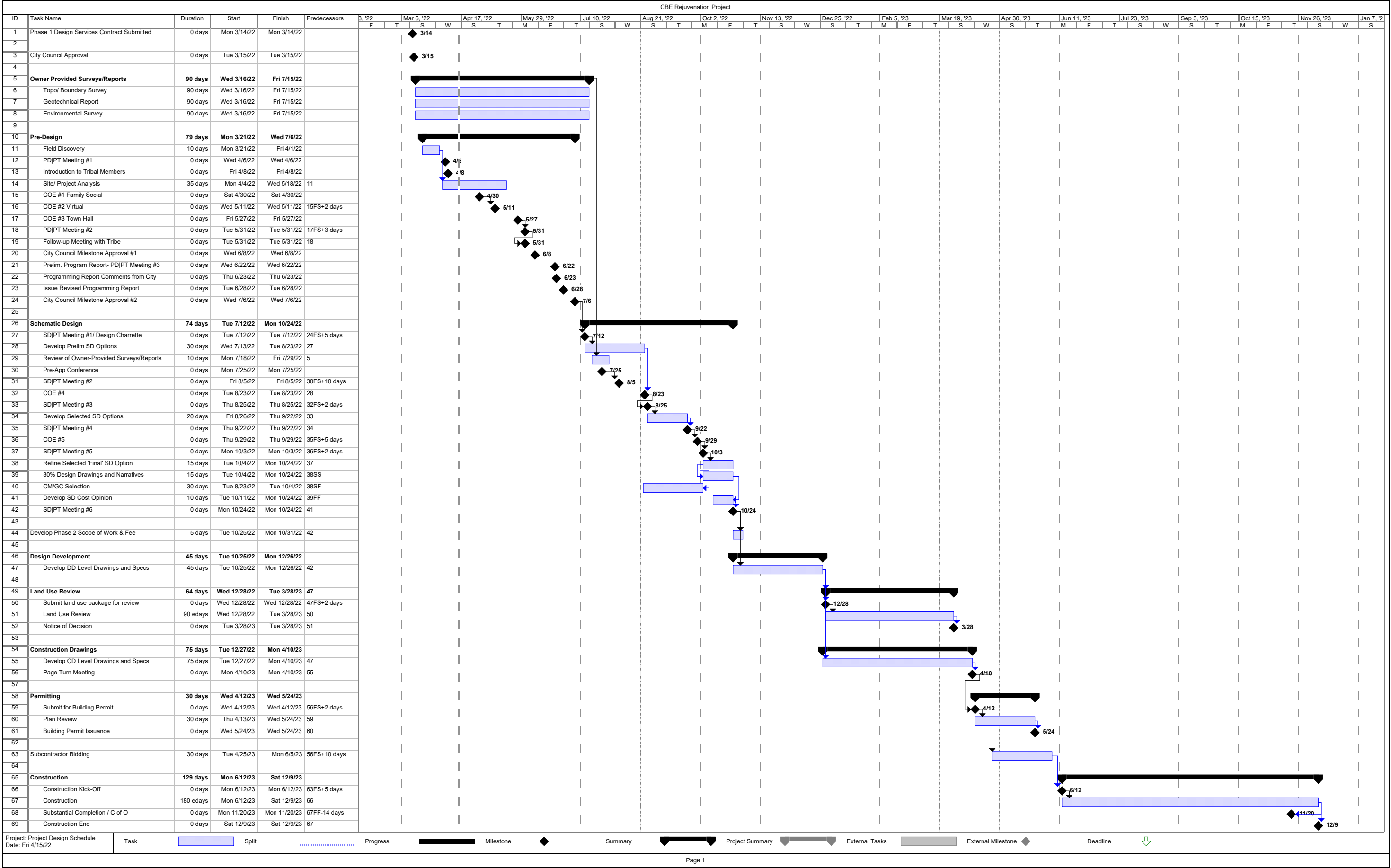
- Option 1:

PLUMBING FIXTURE TABLE										
OCCUPANCY		WATER CLOSETS				LAVATORIES			DRINKING FOUNTAINS	
USE	LOAD	RATIO	MALE	RATIO	FEMALE	RATIO	MALE	FEMALE	RATIO	
BUSINESS	47	1/25	.94	1/25	.94	1/40	.59	.59	--	--
ASSEMBLY	337	1/125	1.35	1/65	2.59	1/200	.84	.84	1 PER FLOOR	1
STORAGE	9	1/100	.05	1/100	.05	1/100	.05	.05	--	--
SUBTOTALS			2.34		3.58		1.48	1.48		1
REQUIRED TOTALS			3		4		2	2		1
PROVIDED TOTALS			--		--		--	--		--
NOTES: MINIMUM REQUIRED PLUMBING FIXTURES ARE CALCULATED PER OSSC 2902.1.1 AND AS CLARIFIED BY IBC CODE AND COMMENTARY 2902.1.1 SAMPLE PROBLEM 1.										

- Option 2:

PLUMBING FIXTURE TABLE										
OCCUPANCY		WATER CLOSETS				LAVATORIES			DRINKING FOUNTAINS	
USE	LOAD	RATIO	MALE	RATIO	FEMALE	RATIO	MALE	FEMALE	RATIO	
BUSINESS	49	1/25	.98	1/25	.98	1/40	.61	.61	--	--
ASSEMBLY	428	1/125	1.71	1/65	3.29	1/200	1.07	1.07	1 PER FLOOR	1
STORAGE	3	1/100	.02	1/100	.02	1/100	.02	.02	--	--
SUBTOTALS			2.71		4.29		1.7	1.7		1
REQUIRED TOTALS			3		5		2	2		1
PROVIDED TOTALS			--		--		--	--		--
NOTES: MINIMUM REQUIRED PLUMBING FIXTURES ARE CALCULATED PER OSSC 2902.1.1 AND AS CLARIFIED BY IBC CODE AND COMMENTARY 2902.1.1 SAMPLE PROBLEM 1.										

06PROJECT SCHEDULE







Dustin Johnson
CIDA | ARCHITECTURE
15895 SW 72nd Ave, Suite 200
Portland, OR 97224

Re: Existing Site Conditions and Assessment
Summary of Public Engagement - Transportation and Site Engineering

Red Plains Professional, Inc., working with the CIDA project team, has been engaged in navigating the early phases of the project to include initial research meetings with the City of Cannon Beach and the Clatsop Nehalem Tribe, site investigations (in varying weather conditions), and the very important community outreach process. This report will summarize the findings and observations to date to add to the discovery package. This information is being provided prior to any active design work as part of the planning and programming phase of the project.

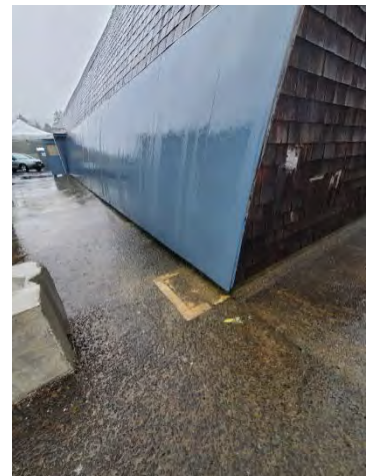
Summary of notable findings:

1. The underlying historic Tribal Village and the majority of project stakeholders' desire to respectfully honor that history, significantly impacts the ability to develop the site and needed transportation infrastructure required to properly support the future use of this property.
2. Maintaining and enhancing the natural beauty of the adjacent Ecola Creek estuary and energy of the NeCus' Park setting on the north side of the buildings, detract additionally from transportation infrastructure development and improvement.
3. Improvement of site ingress and egress is significantly limited by the layout of the site in proximity to:
 - a. The underlying historic village and artifacts, which will limit ground disturbance and significant grading.
 - b. The Fir Street Bridge is only 70 feet to the back corner of the historic gymnasium building (Measured along centerline of road to perpendicular back corner of building) and only 175 feet to the intersection of Beaver Street, creating very limited spacing for additional access directly from Fir Street.
 - c. The Beaver Street roadway configuration and minimal setbacks of the building structures from the street:
 - i. From the Fir and Beaver Street Intersection, the southeast corner of the building is only 50ft set back from Fir Street.
 - ii. The limited parking stalls (3) in the far southeast corner of the site on the northwest corner of the Fir and Beaver Street Intersection provide safety issues and concerns due to their close proximity to the intersection.
 - iii. The consideration of an additional access point to the site at the location of these 3 parking stalls is also not recommended due to the spacing restrictions from the intersection.





- d. Parallel Parking along the south side of the site on Beaver Street is available currently for an approximate 181 feet, however there are no pedestrian facilities (sidewalk) currently in place for the western 121 feet of this stretch running adjacent to the classrooms.
 - e. The North Spruce Street access point on the west side of the site provides the most safe main access point to the site for vehicular traffic, however the nature of this access point creates wayfinding challenges. The back entrance becoming the primary access point to the site provides additional challenges to the site configuration, specifically in relation to the food pantry location and needed improvements to the existing narrow gravel road.
4. Environmental aspects both biological and archeological, need to be considered in conceptual site planning and design of improvements to the site.
- a. Biological: This site is directly adjacent to the channel and mouth of a fish-bearing and Pacific Ocean coastal area of Ecola Creek. Flood plain, sea level rise, inundation areas, wetlands and other protected habitat (with Buffers), and protected species must be heavily evaluated and considered.
 - b. Archeological and Cultural: This site is directly overlying a historic place of gathering and Native American Village. Historic accounts of the site layout do not provide enough detail to locate specific underlying village characteristics or features. Ground penetrating radar would allow the Tribe and other stakeholders the ability to truly understand features of the historic village. The Tribe was investigating and seeking potential funding to get this completed for the site.
5. When considering improvement or reconfiguration to the site and structures, there must be consideration and improvement to site stormwater drainage collection, treatment, and conveyance. The following areas particularly need addressing:
- a. Drainage from the Gymnasium Roof:
 - i. There appears to be minimal grade to convey water away from the gymnasium as water travels down the cylindrical structure directly to the ground (building drains to both pervious and impervious surfaces).
 - ii. The breezeway and southwest corner of the gymnasium appear to have significant drainage issues with the apparent ponding of water with potential to back water up into the building.



b. Drainage from the Classroom Building Roof:

- i. This structure does have collection gutters and downspouts. The downspouts do not appear to convey into any designed system and during rain events do not adequately convey water away from the building.
- ii. North side of structure has an covered area with gutters and downspouts which collect water and release it directly onto the paved back playground area to generally drain north over the impervious surface.





- c. Other notable drainage Characteristics of the site:
- i. Off the northeast corner of the food pantry the downspout from the roof gutters is not functioning/connected. This is resulting in stormwater eroding and degrading the Northwest corner of the paved playground area and transition where the gravel road ties in. The water generally flows northeast from the corner of the building and settles in a ponding area along the transition of the gravel road and parking area, then further and deeper in a depression in the field. Water was observed at 3-4 inches deep in a pond that was approximately 12' in diameter. The water did infiltrate the sandy fill area soils in time.





6. General Safety, Signage, and Design of Existing Transportation Infrastructure areas of concern:

- a. From the closed access gate into the site on the far west end of the site, there is little to no designed signage or safety features distinguishing this as a transportation facility.
- b. Paved playground area currently allowing event parking when open on the north side of the buildings is not a properly designed transportation facility and has no designated features required to meet current specifications. There are no physical barriers or pavement markings creating separation from the driving surface to the building structures.

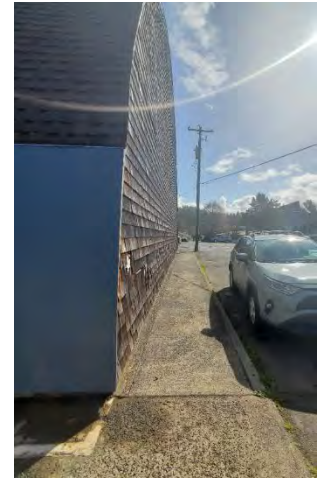


- c. Parking on the south side of the site to include the 3 stalls and the parallel parking along Beaver Street is not well marked or designed.
- d. The southface of the gymnasium is narrow the sidewalks width away for the traveling public. Through this area there is a curb to act as a slight physical barrier between the road and building.

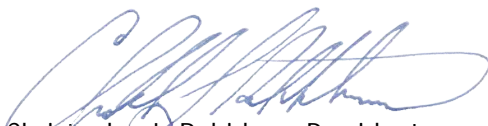
The southface of the classroom building has no physical barrier between the driving surface and the building. There is a narrow gravel and grass area with no curb-height.

- e. There are minimal to no ADA design features for the transportation infrastructure for this site.

7. In general the Pedestrian Transportation Facilities are poorly planned and do not provide connectivity to one another. Sidewalks, crosswalks, and trails are impeded by lacking facilities or barriers preventing smooth and safe movement of vulnerable bike-ped users.



Respectfully submitted 06/28/2022


Christopher L. Robideau, President

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CANNON BEACH ELEMENTARY SCHOOL SITE RENOVATION- Landscape Site Analysis

- The majority of the site is essentially flat, with large portions covered in fill material up to the edge of the creek creating a relatively steep bank to the creek.
- The fill area is mostly grass. The fill is from a desire to provide more usable space for school activities and recreational use. However the connection between the land, the estuary and transition to the ocean is altered.
- The edge of bank has mature spruce trees along the west side of the site and newly planted trees on the east side of the site's creek bank. Much of open bank area has shrubs, willows, grasses and perennials and invasive blackberries.
- The site edge along Fir Street is open allowing views into the open park area; while alternately limiting the serenity of the area with views and noise from traffic. The NeCus monument is located here and visual to pedestrians and less noticeable to car traffic.
- There are existing mature ornamental Cherry trees along the Fir Street frontage in front of the gym building. They are not native and are grafted plants. Please provide significance of these trees, they appear to have intentional significance.
- The corner of Fir St and Beaver Ave provides no special entry view and leads into an unimproved frontage along the fronts of the building.



- Path through wooden area on west side of the site includes several native shrubs that can be included on the site where new planting is required.
- Existing asphalt protects tribal artifacts and should remain in some form. Its condition and the visible nature of asphalt is a functional but unattractive cover material between the buildings and the natural park.

CANNON BEACH ELEMENTARY SCHOOL SITE RENOVATION- Landscape Design Recommendations

Throughout the listening phase the main messages that came through for the exterior was a respect for NeCus village site and its historic and present day importance as well as the opportunities for the creation and enhancement as a gathering space. Concept design considerations include:

1. Provide a place for outdoor concerts, lectures etc. (Amphitheater like)

CANNON BEACH ELEMENTARY SCHOOL SITE RENOVATION- **Landscape Design Recommendations**

2. Maintain open lawn area for varies types of recreation and free play.
3. Provide visual access to the water from the north side of the gym. (Assumes opening the north side of the gym)
4. Provide placards along a system of paths telling the story of NeCus village as an important tribal trading and meeting place as well as the natural environment. (refer to Doug Deur's work)
5. Provide additional educational opportunities, such as native plants significance, wildlife and the function of the estuary. (Consult with Roberta Basch)
6. Move newly planted spruce to the east side of the site along Fir Street to enclose the area from the traffic.
7. Enhance the Fir Street in front of the gym and enhance the corner of Beaver Ave to be a welcoming statement. Look into making Beaver Ave one way for angled or perpendicular parking for visitors stopping for information, history or rest rooms. (Generally increasing parking along Beaver for non-event parking.)
8. Coordinate with upcoming archeological studies to protect artifacts and avoid excavation where artifacts may be located.
9. Enhance the NW corner of the site to provide a more prominent access to beach by removing fill to create a slope that more closely matches the historic transition to the beach. Create a space for outdoor cooking and salmon festival activities both on site and on City owned property to the west.
10. Enhance the area for launching the tribal canoe and its storage.
11. Remove invasive plants particularly along creek bank.
12. Provide definition for paved area, such as striping for games, planters to create different spaces, post holders for temporary covers etc. (Coordinate the function of the area is parking is not allowed)
13. Consider moving access to the food pantry from the backside of the building (convert a window to a door).



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MEMORANDUM

DATE:	2022-06-28	RWDI Reference No.: 2203954
TO:	Dustin Johnson Principal Architect, CIDA, Inc.	EMAIL: Dustinj@cidainc.com
FROM:	Richard Manning Technical Director	EMAIL: Richard.manning@rwdi.com
	Jasha Kistler, PE ASSOCIATE PRINCIPAL	EMAIL: Jasha.kistler@rwdi.com
RE:	Sustainability Site Visit CANNON BEACH ES RENOVATION Cannon Beach, OR	

1.0 Sustainable Design

Sustainability is the responsible stewardship of natural, human, and financial resources through a practical and balanced approach. Sustainable practices such as conservation, improved durability, recycling, and reuse will help us to meet current needs with a decreased impact on future generations' ability to meet needs of their own.

A. Goals of sustainable design include:

1. Efficient use of resources and minimization of raw material consumption, both during the construction process as well as throughout the life of the facility.
2. Systematic consideration of environmental impact, energy use, natural resources, economy, and quality of life.
3. Meeting the needs of the present without compromising the quality of life of future generations.
4. Maximization of resource re-use.
5. Movement away from fossil fuels toward renewable energy sources.
6. Creation of a healthy working environment for all who use the facility.
7. Protection of the natural environment.
8. Building of resilient and durable facilities that provide long-term value.
9. It is recognized that not all goals are achievable in each project, and that sustainable design must be weighed with other factors including program



requirements, site limitations, and budgetary limitations.

B. Site Issues

1. Sea level Rise

- a. The project site is located very close to the ocean and surrounded by Ecola Creek. Sea level rise could have a significant impact on the site if the future. Sea level in Oregon has increased approximately 6 inches over the last 60 years, however the rate of sea level rise is increasing. Scientist now forecast that in 20 years there will be another 6 inches of rise. By 2050, within the useful life span of the proposed building, sea level rise could increase as much as 20 inches. ¹
 - I. Landscape design to consider site protection from flooding due to King Tides combined with sea level rise through berms, spillways, or retention areas.
 - II. Locate HVAC and electrical equipment above the ground floor.
 - III. Use durable materials at building base that can withstand water without degradation and the would be easy to clean such as concrete or masonry in case of flooding.

2. Site design

- a. Consider the use of native and adaptive plants. There is an opportunity to highlight plants that are important tribal food sources.
- b. Reduce turf area.
- c. Protect Ecola Creek water quality from site run-off.
 - I. Protect Ecola Creek for construction activity through robust erosion and sedimentation controls
 - II. Consider Salmon Safe ², a certification protecting water quality and habitat through landscape maintenance practices and storm water management.
 - III. Select exterior lighting fixtures and strategies that reduce light pollution, improve nighttime visibility, and reduce impacts of night sky pollution for wildlife.



C. Water Efficiency

1. Potential for Rainwater collection. Cannon Beach has an average annual rainfall of 89 inches ³ This amount of water could support toilet flushing or other non-potable end uses.
2. Reduce water use by incorporating low flow fixtures
 - I. Water closets 1.28 GPF, urinals 0.125 GPF, lavatory faucets 0.35 GPM, and breakroom sink faucets 1.0 GPM.

D. Energy

1. The site has good solar access with unblocked southern exposure. However, Cannon Beach is often overcast reducing the efficiency of solar panels. A site-specific solar study should be completed. For projects within Pacific Power or PGE services territories the Energy Trust of Oregon offers financial incentives for solar studies. ³
2. Existing windows in the classrooms appear to be single paned and should be replaced.
3. The classrooms have excellent daylighting with glazing on both sides of the room. Lighting controls should be used to reduce the time electric light are on.
4. Consider adding clerestory windows or skylights to the gym building to bring in daylighting and reduce the need for electric lighting.
5. Adding louvers on the narrow sides of the gym building could provide natural ventilation. These would need to be studies to optimize the size of the louvers and the effectiveness of this strategy.
6. All electric: Many new projects are not relying on fossil fuels but are going all electric. Since electricity can be produced renewably, and the amount of renewable energy continues to rise, this will reduce the carbon impact of the development.

E. Materials & Resources

1. Local options for construction waste diversion (recycling or other means) should be investigated prior to the beginning of construction, to optimize the volume of construction and demolition waste that can be recycled or reused. The site is large enough for source separating of waste materials.
2. Reused as much of the existing building as possible.



- F. Certification: All certification systems involve additional costs. There are registration and certification fees as well as time for the design team to track data and develop documentation showing compliance with the program criteria.
1. Salmon Safe Certification: Focused on water quality and habitat protection for salmon and other aquatic species. There are standards for Urban Development and standards for Parks. An interdisciplinary Science Team of qualified experts is assigned to the project certification candidate to work with the development team during each stage of the design development process. The evaluation and certification process is a collaborative effort between Salmon-Safe and the development team. All certification standards and performance requirements are performance-based, not prescriptive.
 2. LEED Certification: Leadership in Energy and Environmental Design (LEED) is a comprehensive and rigorous green building rating system that includes criteria for Site Design, Energy Use, Water Use, Materials choices, and Indoor Environmental quality. Projects use a checklist of 110 points to assess the building performance throughout design and construction. Projects can be certified at different levels, "Certified," "Silver," "Gold" or "Platinum."
 3. WELL Certification: Similar in format and process to LEED but focused more on human health. Requires actual on-site testing and lab testing of air and water quality.
- G. Incentives
1. Energy Trust of Oregon (ETO): Offers many incentive programs from equipment rebates for whole building performance programs. The Path to Net Zero program encourages very low energy use buildings and provides a generous incentive package.

Footnotes:

1. Scientists from the National Oceanic and Atmospheric Administration (NOAA) use a global forecast which offers six projection curves. The IPCC AR 4 Sea-Level Projections – An Update, www.cmar.csiro.au.
2. Salmon-Safe works with West Coast farmers, developers, and other environmentally innovative landowners to reduce watershed impacts through rigorous third-party verified certification.
salmonsafe.org
3. Rainfall recorded at Cannon Beach City Hall. Records go back to 1987.
[https://www.ci.cannon-](https://www.ci.cannon-beach.or.us)



beach.or.us/sites/default/files/fileattachments/community/page/17291/monthlytotals.pdf

4. Energy Trust of Oregon Solar incentives. Will provide financial assistance to assess the potential of your rooftop or property for solar power. They will provide a customized bid with estimated incentives, tax credits, annual solar power generation and utility cost savings so you can see the net costs for the solar or solar + storage system

CBE Rejuvenation Due Diligence Report



VERSION | FINAL
ISSUED TO | Dustin Johnson
REPORT DATE | 20-June-2022
PROJECT NUMBER | 2203954
PROJECT ADDRESS | 268 Beaver Street
Cannon Beach, OR 97110

PREPARED BY
Gerhard Bamler
Jasha Kistler

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1 Executive Summary

1.1 Background

The subject matter of this report, the former Cannon Beach Elementary School with three individual structures, is located at 286 Beaver Street at the north end of Cannon Beach, Oregon.

RWDI, the Building Enclosure Consultant to CIDA, performed an observation of the existing buildings to evaluate the condition of the envelope, to identify areas that are at risk of failing, and to document the results. The findings are summarized in this report.

Based on existing information provided by CIDA, the school has been unoccupied for more than 10 years to date. The existing structures were purchased by the City of Cannon Beach with the intent to re-purpose the buildings and site with the aim to turn it into a Community Center with close engagement of the Clatsop Nehalem Tribe who has strong historic ties with this land.

There are three individual structures located on this property and they are referred to in this report as follow:

- **Structure 1:**
The original school constructed in 1950 with an approximate foot print of 5,000 sqft housing four classrooms, restrooms, offices, and boiler room. This structure stretches in east-west direction and flanks Beaver Street along the south property line.
- **Structure 2:**
The gymnasium located to the east of Structure 1 and constructed in 1952 with an approximate foot print of 7,000 sqft on Level 1 housing classrooms, storage room, and a cooking area inclusive on an approximate 1,000 sqft mezzanine level at the north end of the structure. Structure 2 extends in north-south direction parallel to Fir Street along the east property line.
- **Structure 3:**
A secondary building housing additional classroom, constructed in 1967 with an approximate foot print of 3,300 sqft and connecting to Structure 1 by an exterior breezeway at the south end of Structure 3. Structure 3 extends in north-south direction and is located along the west side of the property.

Based on information obtained from CIDA, ZCS Engineering & Architecture issued a report to the City of Cannon Beach in August 2020 providing structural, architectural and MEP evaluations for Structure 1 and Structure 2 with recommendations for a seismic upgrade *“to achieve a structure that meets the expectations associated with a performance level of “Life Safety” as outlined in ASCE 41-17 as well as all recommendations / requirements to bring the building up to code”*. It was noted by RWDI that Structure 3 was not included in the scope of ZCS’s evaluation. If this building was to be re-purposed as part of the final design concept, a structural evaluation would need to be considered by the team.

1.2 Background Information

On 4/04/2022, the following background information was provided to RWDI by CIDA:

- | | | |
|----|---|--------------------------------|
| 1. | CBE Building Evaluation Report.pdf | dated: 8/2020 |
| 2. | CBE Roof Replacement As-Builts.pdf | dated: 7/12/2021 |
| 3. | CS 12951 1-2.pdf | dated: 3/13/2014 |
| 4. | CS 12951 2-2.pdf | dated: 3/13/2014 |
| 5. | Draft NeCusMasterPlanDrawing 2014 (1).jpg | dated: 3/11/2014 |
| 6. | Draft_NeCusMasterPlanDrawing_2014 (2).jpg | dated: 3/11/2014 |
| 7. | NeCusVision Final GENA.pdf | dated: 6/18/2015 and 8/11/2015 |

On 4/29/2022, the following additional background information was provided to RWDI by CIDA:

- | | | |
|----|--|------------------|
| 8. | P.2638.21. Cannon Beach REVISION 2 - 4-25-2022.pdf | dated: 4/25/2022 |
| 9. | Submittal Product Data 1 Roofing.pdf | dated: 4/25/2022 |

RWDI reviewed the provided documents. Information captured in these documents has been also referenced by RWDI in this report.

It is RWDI's understanding that select seismic upgrades documented by ZCS Engineering & Architecture and captured in the PDF named "CBE Roof Replacement As-Builts" have already taken place. In that context, RWDI also understand that not all recommended scope has been completed to date.

1.3 Investigation Process

A visual observation of the subject premises was performed by RWDI on 4/08/2022. CIDA was also present on site and provided access for RWDI to Structure 1 and Structure 2.

The inside of Structure 3 was not accessible at time of visit. CIDA mentioned that it was not yet clear, if Structure 3 would be re-purposed as part of the ongoing design effort.

Roof areas could not be accessed by RWDI on day of visit as no ladder was available on the premises.

Should CIDA require RWDI to visually observe the exiting roof structures, a future visit would need to be scheduled to perform this task. In this context, please note that roof levels of Structure 1 and Structure 3 appear to be accessible. Structure 2, however, does not allow for safe roof access from the outside due to its dome-shaped structure, and any visual observation for Structure 2 would still need to be performed from the ground.

All visual observations of the exterior building envelopes referenced in this report were obtained at eye level. Observations gathered were of a non-destructive nature.

1.4 Evaluation

The overall condition of all three observed building enclosures is fair to poor. As described in each sub-paragraph of Section 2, some assemblies are nearing the end of their lifecycle and will need to be replaced in their entirety to mitigate long term deterioration of the structures.

RWDI observed some potential structural deficiencies at select areas of the stem wall / foundation of Structure 2 which are briefly referenced in Section 2. These areas should be reviewed separately by a licensed Structural Engineer, as RWDI does not provide structural services.

2 Exterior Building Enclosure

As noted under Section 1, roof areas could not be accessed by RWDI on day of visit because no ladder was available on the premises. The following observations were therefore made from ground level.

2.1 Structure 1:

Structure 1 consists of two separate roof levels, a main shed-roof structure above the classroom area sloping from north to south towards Beaver Street (Image 1) and a lean-to roof structure sloping from south to north creating a covered breezeway (Image 2).

Both roof areas appeared to have been recently re-roofed with a TPO membrane and are equipped with new gutters, downspouts, Hardie cement fascia boards and metal flashing (Images 3, 5, 7).

Viewing the roof assembly from the interior, RWDI observed one location that indicated that new plywood sheathing had been installed over the existing rafters (Image 11).

Drawing A0.2 of the provided PDF named "*CBE Roof Replacement As-Builts*" specifies a fabric-reinforced fully adhered TPO membrane over 1/2" thick DensDeck cover board over a minimum of 6 inches of polyisocyanurate board insulation. Details on drawing A3.1 call for a "new roofing / vapor barrier" but do not specify any specifics about the vapor barrier product. Please note that the details illustrated on drawing A3.1 do not indicate the 6 inches of polyisocyanurate board insulation referenced under 2.1 E of Section 07 54 23 on drawing A0.2 (Images 4, 6, 8).

For reference, TPO membranes come in a variety of thicknesses. Typical membrane thicknesses are 45 and 60 mils but thicker membranes exist as well. TPO membranes have a scrim (reinforced area) that is placed within the vertical build-up of the membrane. Depending on where the scrim is placed within the membrane buildup impacts how much material is placed above and below the reinforcement area. The amount of material placed above the scrim is also known and referred to as the "wearing surface". In general, a thinner membrane has less wearing surface. This is a critical aspect with view to long term performance of a TPO membrane, as the wearing surface will diminish over the life of the install due to foot traffic and aging of the product relative to its environment. The more severe the conditions, the more ageing the membrane will undergo, and the quicker it will lose its protective layer.

According to 2.1 B.1. of Section 07 54 23 on drawing A0.2, a 60-mil membrane was specified as part of the seismic upgrade documents. A 60-mil TPO membrane assembly typically comes with a 15-year warranty (Image 10) but this would need to be verified by CIDA through obtaining the documents submitted and related to the performed seismic upgrade scope that has taken place to date.



Image 1: Structure 1 - South Elevation (view from Beaver Street)



Image 2: Structure 1 - North Elevation (looking south at breezeway)

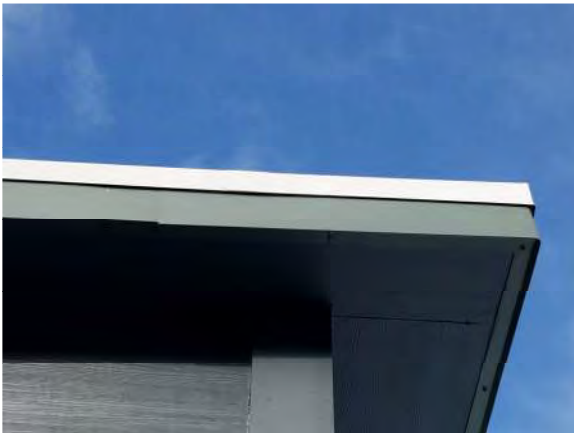


Image 3: Structure 1 - South Elevation

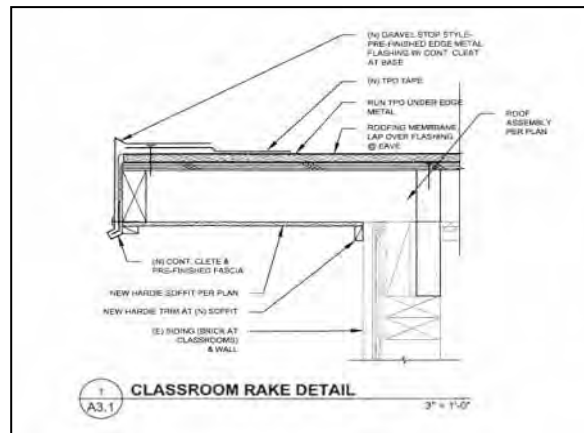


Image 4: Structure 1 - Snipping of Detail 1/A3.1 Classroom Rake Detail



Image 5: Structure 1 - Transition to gutter (SE corner)

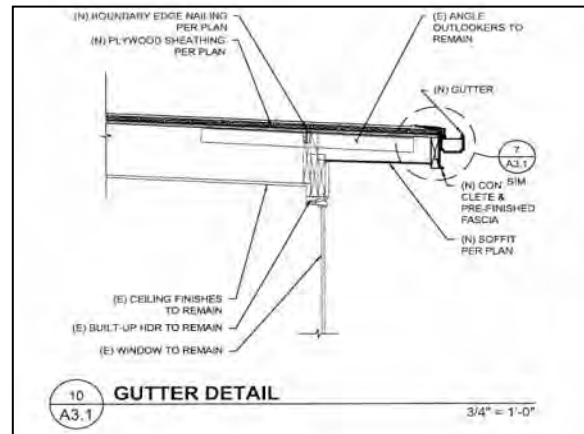


Image 6: Structure 1 - Snipping of Detail 10/A3.1 Gutter Detail



Image 7: Structure 1 - Breezeway roof

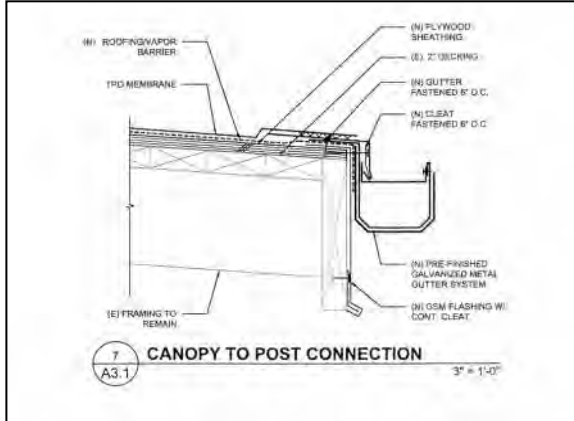


Image 8: Structure 1 - Snipping of Detail 7/A3.1 Canopy to Post Connection



Image 9: Structure 1 - View from covered breezeway looking east towards Gym

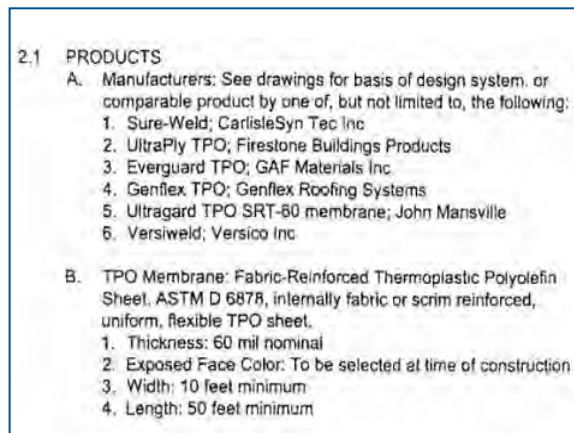


Image 10: Structure 1 - Snipping of Drawing A0.2 (roof products)



Image 11: Structure 1 - interior view of Classroom roof assembly

The exterior wall assemblies of Structure 1 consist of four main cladding assemblies. The West Elevation comprises of an earth-toned colored stone veneer finish without any openings (Image 12). The South Elevation consist of the same-colored stone veneer finish and includes large areas of single-pane aluminum windows (Images 13). The East Elevation comprises of a painted stucco plaster assembly with a couple of steel door assemblies that access back-of-house spaces (Image 14). The North Elevation consists of a painted stucco plaster assembly that extends from ground level to the underside of the breezeway roof assembly and includes a number of door assemblies through which the classrooms and back-of-house spaces (i.e. restrooms) are accessed. The portion above the breezeway roof assembly includes clerestory ribbon window assemblies with what appears to be painted wood cladding between the clerestory windows (Image 15).



Image 12: Structure 1 - West Elevation



Image 13: Structure 1 - South Elevation



Image 14: Structure 1 - East Elevation



Image 15: Structure 1 - North Elevation

Given the time when this building was constructed, it is likely that the stone veneer was conceptually constructed as a (weather) barrier assembly, meaning the framed wall assembly does not include a drainage or air cavity plane behind the finish cladding material. Whilst on site, RWDI searched for weep holes within the veneer assembly but was not able to detect any weep holes, which would be a second indicator that the observed stone veneer would qualify as a barrier system (Image 16).

RWDI observed the grout joints and detected loose, missing and / or spalling grout at a number of locations (Image 17). The brick veneer along the West Elevation with its proximity to an approximate

5-foot-tall evergreen hedge displayed moss and organic growth at the lower shaded areas (Image 18) with some appearance of efflorescence (Image 19).



Image 16: Structure 1 - South Elevation



Image 17: Structure 1 - South Elevation



Image 18: Structure 1 - West Elevation



Image 19: Structure 1 - West Elevation

The window assembly on the South Elevation is placed between vertical brick veneer clad pilasters and spans the entire width of one classroom (Images 20 - 21). The window assembly is considered a non-thermally broken aluminum window and consists of single pane clear vision glass (two lower rows) and opaque spandrel glass (top row). The aluminum window assemblies observed show heavy wear and tear. The window assembly is at the end of its life cycle and will need to be replaced in its entirety.

The window sill construction consists of a sloped soldier brick arrangement. Being exposed to the inclement of the weather and not protected (i.e. with sheet metal flashing), the sloped surface of the brick and the grout joints between the sloped bricks are heavily weathered. A deteriorating wood nailer separates the aluminum window from the sloped brick at the sill. RWDI observed rusted nails within the wood components (Image 22).

The horizontal and vertical dividers consist of tapered snap-cap extrusions with corners, which have opened up or are out of alignment (Image 23).

At time of visit, a number of aluminum extrusions were sealed with a Fortifiber tape. At those conditions, RWDI observed moisture trapped between the tape and the substrate it was adhere to (Image 24).

On the interior, RWDI observed water staining and some organic growth on the existing wood molding that clads the rough window opening (Image 25).



Image 20: Structure 1 – South Elevation



Image 21: Structure 1 – South Elevation



Image 22: Structure 1 – West Elevation

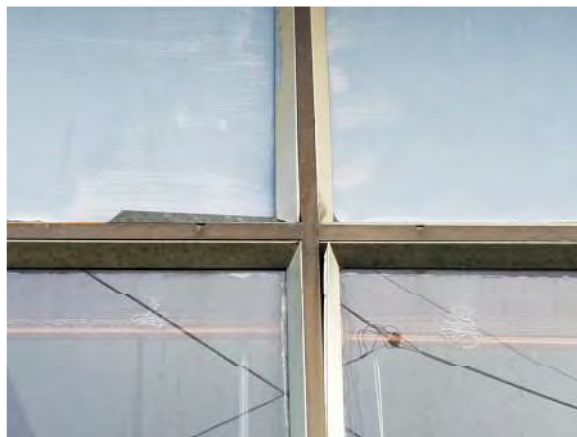


Image 23: Structure 1 – West Elevation



Image 24: Structure 1 – West Elevation



Image 25: Structure 1 – West Elevation

On the North Elevation, clerestory windows consisting of two vertical rows of lites extend between rooms. The clerestory window sill is located approximately 8 feet above the floor. From there, the window extends to the underside of the sloped finished ceiling (Image 26).

At time of visit, a number of clerestory lites were blanked off with black tarp, plywood and / or other material (Images 27 - 29).

RWDI was not able to observe the condition of the windows close up as no ladder was available at time of visit.

From the ground, the windows appear to be painted wood-framed windows. Given the time when this building was constructed, RWDI is assuming these windows are still the original assembly, which are most likely single pane windows, which should be replaced with a thermally broken double-pane window product.



Image 26: Structure 1 – South Elevation



Image 27: Structure 1 – South Elevation



Image 28: Structure 1 – West Elevation



Image 29: Structure 1 – West Elevation

The East and North Elevations consists of mural-painted stucco wall assemblies (Images 30 - 31). Given the time when this building was constructed, it can be safely assumed that the plaster assemblies are conceptually constructed as barrier assemblies, meaning the framed wall assembly does not include a drainage plane behind the stucco finish.

The mural along East Elevation appears to have been recently painted and / or touched up and terminates against newly installed Hardie cement fascia boards (Image 30). RWDI is assuming that the recent upgrades may have occurred when the canopy entryway framing between Structure 1 and Structure 2 was removed.

The mural along North Elevation appears to have been painted a while ago (Image 32). The stucco plaster finish along the North Elevation is protected from the direct inclement of the weather by a covered breezeway canopy structure (Image 26).

The observed steel door assemblies show heavy wear and tear. The relite of the door assembly at the East Elevation located to the south is partially blanked off from the outside with an OSB panel (Image 31). All observed door frames and door panels display corrosion caused by the salt-laden air of the coastal environment (Images 32 - 33).

At the East Elevation, RWDI observed an unsealed area in the stucco finish above the head of the door frame of the door assembly located to the south (Image 32). Because this wall has not overhead protection, moisture will be able to infiltrate the stucco finish and potentially migrate further into the wall assembly, unless this area is repaired.



Image 30: Structure 1 - South Elevation



Image 31: Structure 1 - North Elevation



Image 32: Structure 1 - South Elevation



Image 33: Structure 1 - West Elevation

2.2 Structure 2:

Structure 2 consists of arched glulam rafters that make up the roof (and walls). The building / roof structure extends parallel to Fir Street in north-south direction. The arched structure is covered in asphalt roof shingles, which are weathered with select areas displaying moss build-up indicating that the roofing is nearing the end its life (Images 33 - 36).

At the southeast corner of the east elevation, the asphalt roof shingles extend down to ground level. At the northeast corner of the east elevation, a one-story tall bump-out enclosure with a flat roof joins up with the arched roof structure (Image 34).



Image 33: Structure 2 – South Elevation (view from Beaver St.)



Image 34: Structure 2 – East Elevation (view from Fir St.)



Image 35: Structure 2 – North Elevation



Image 36: Structure 2 – West Elevation

At the West Elevation, the asphalt roof shingles terminate approximate 8 feet above ground level. The distance between the roof shingles and the walkway is lined with tightly butted and painted plywood panels. The plywood panels that extend from the main entry of the gym south towards Beaver Street appear to have recently been replaced. RWDI is assuming this replacement scope may have occurred when the covered walkway connecting the gym with the classroom wing was removed as part of the seismic upgrade scope performed on Structure 1 (Images 37 - 38).



Image 37: Structure 2 - West Elevation (looking north)



Image 38: Structure 2 - West Elevation (looking south)

The plywood panels extending from the main entry of the gym to the northwest corner of the building are heavily weathered, showing wear and tear. The plywood panels are nearing the end of their life cycle and will need to be replaced (Images 39 - 40).



Image 39: Structure 2 - West Elevation (looking south)



Image 40: Structure 2 - West Elevation (looking south from northwest corner)

Drawing A0.1 of the provided PDF named "*P.2638.21. Cannon Beach REVISION 2 - 4-25-2022*" specifies glass-fiber-reinforced asphalt shingles and TPO for the replacement of the roofing material.

Detail A on drawing A1.1 illustrates a fully adhered TPO membrane over cover board barrier over R-30 mechanically attached rigid insulation over a temporary roofing / vapor barrier over new structural sheathing (Image 41).

Detail B on drawing A1.1 illustrates asphalt shingles over synthetic roofing underlayment over ½" thick plywood or OSB sheathing attached to the roofing framing over R-20 mechanically attached rigid insulation over a temporary roofing / vapor barrier over new structural sheathing (Image 41.1).

At time of visit, these upgrades appear to have not yet been performed (Images 42-44).

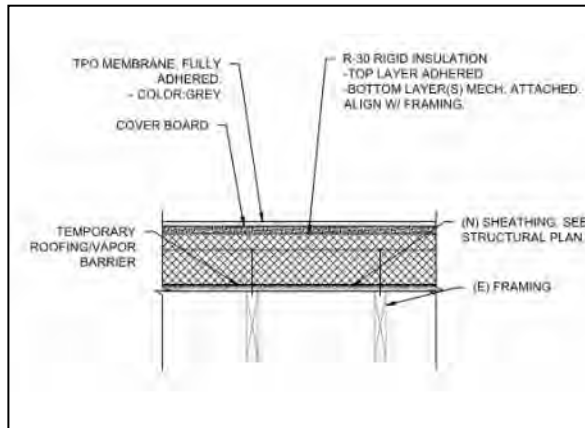


Image 41: Structure 2 – Snipping Detail A/A1.1

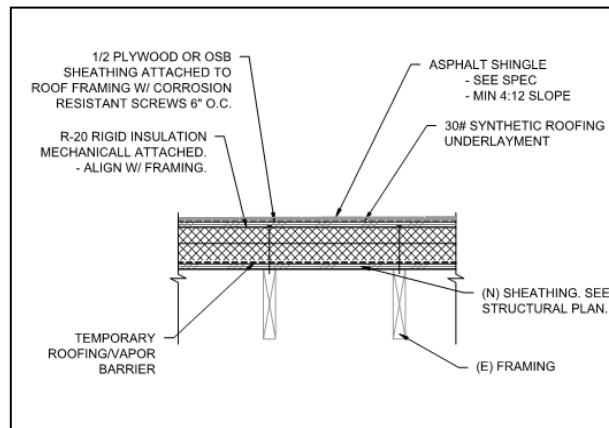


Image 41.1: Structure 2 – Snipping Detail B/A1.1



Image 42: Structure 2 – Interior of Gym (looking North)



Image 43: Structure 2 – Interior of Gym (looking South)

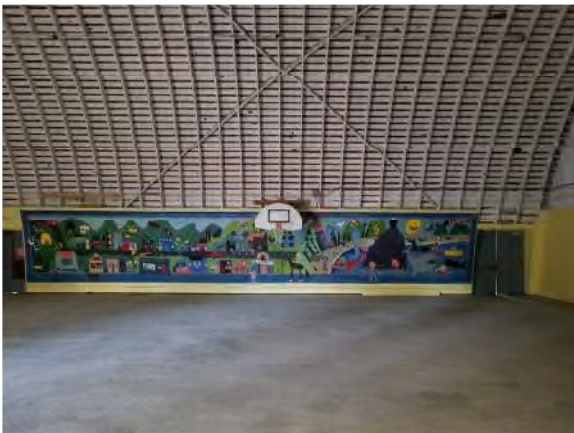


Image 44: Structure 2 – Interior of Gym (looking East)

The South Elevation is clad with cedar shingles and has no openings. The cedar shingles on the South Elevation are unpainted and have a weathered patina (Image 45). At one lower portion near the southwest corner of the South Elevation, RWDI observed a couple of missing shingles. This deficient area shows that the shingles are installed directly over building paper (Image 46). Similar to the observed wall assemblies of Structure 1, this cedar shingle wall assembly, as currently constructed, qualifies as a “barrier system”.



Image 45: Structure 2 – South Elevation



Image 46: Structure 2 – South Elevation (close-up)

The North Elevation (Image 47) has number of openings sprinkled across the facade, which range from aluminum framed single pane windows (Image 48) to wood-framed single pane windows with brick molding (Image 49), steel door panels set within brick molding, and corroding steel mechanical vents (Image 50). Some openings have even been blanked off with temporary infill products.



Image 47: Structure 2 – North Elevation



Image 48: Structure 2 – North Elevation



Image 49: Structure 2 - North Elevation (northeast corner)



Image 50: Structure 2 - West Elevation (northwest corner)

On the North Elevation, RWDI also observed exposed Mechanical / Electrical / Plumbing (MEP) infrastructure routed in front of the façade. The MEP infrastructure penetrates the exterior wall assembly at a number of locations (Images 51 – 52).



Image 51: Structure 2 - North Elevation (northeast corner)



Image 52: Structure 2 - West Elevation (northwest corner)

At the northeast corner of the North Elevation where the arched roof meets the concrete stem wall, RWDI observed horizontal cracks in the stem wall (Image 53). A similar observation was made by RWDI at the northwest corner along the West Elevation (Image 54). RWDI would recommend that these areas be reviewed separately by a licensed Structural Engineer to determine if the observed deficiencies require further structural attention.



Image 53: Structure 2 – North Elevation (northeast corner)



Image 54: Structure 2 – West Elevation (northwest corner)

The East Elevation includes three separate smaller one-story tall structure that join up with the arched roof structure (Image 55). The one-story tall structures are clad in cedar shingles that have been painted. The structures contain aluminum-framed single pane windows (Image 56) and steel door assemblies with brick molding with some steel doors showing heavy corrosion (Image 57). Some door panels are missing the original door leaf and have been replaced with a plywood infill panel (Image 58). Cedar shingles are missing at a number of locations and will need to be replaced (Images 57 & 59). At the northeast corner of the one-story tall structure, RWDI observed peeling paint at the cantilevering rafters of the low-slope roof overhang (Image 60).



Image 55: Structure 2 – North Elevation (northeast corner)



Image 56: Structure 2 – West Elevation (northwest corner)



Image 57: Structure 2 - North Elevation (northeast corner)



Image 58: Structure 2 - North Elevation (northeast corner)



Image 59: Structure 2 - North Elevation (northeast corner)



Image 60: Structure 2 - North Elevation (northeast corner)

2.3 Structure 3:

Structure 3 consists of a flat roof with an approximate 6-foot-deep roof overhang along the East Elevation supported by cantilevering steel rafters. At the south end of the East Elevation, the cantilevering roof structure transitions to a flat roof structure supported by steel posts. This roof structure joins up with the breezeway roof assembly of Structure 1 (Image 61). The roof line long the North, West and South Elevations transitions flush with the face of the vertical wall assemblies (Images 62 – 64).



Image 61: Structure 3 – East Elevation



Image 62: Structure 3 – North Elevation



Image 63: Structure 3 – West Elevation



Image 64: Structure 2 – Partial South Elevation

The roof assembly of Structure 3 appears to be at the end of its life. The fascia trim boards are stained with moss and organic growth (Images 65 - 66). The exposed cantilevering steel rafters of the roof overhang are showing heavy corrosion, which is exacerbated through the salt-laden air of the coastal climate. The existing paint finish coating the steel rafters is blistering and peeling (Images 67 - 68).



Image 65: Structure 3 - East Elevation



Image 66: Structure 3 - East & South Elevations (roof to wall transition)



Image 67: Structure 3 - North Elevation (roof overhang at north east corner looking south)



Image 68: Structure 3 - East Elevation (u/s of roof overhang)

The North and West Elevations are clad with vertical painted tongue and groove siding (Image 69), the East and South Elevations (Images 71 – 72) are mostly lined with plywood panels (both painted and unpainted). The plywood on the South Elevation is not protected with roof over hangs and is therefore heavily weathered (Image 72). Some dry rot was observed at the bottom leading edge of the siding at the west end of the North Elevation where the siding extends almost down to the landscape (Image 73). Overall, the siding that is unprotected and exposed to the inclement of the weather is in poor condition and will need to be replaced.



Image 69: Structure 3 - West Elevation (tongue and groove siding)



Image 70: Structure 3 - East Elevation (plywood siding with battens)



Image 71: Structure 3 - South Elevation (plywood siding)



Image 72: Structure 3 - North Elevation (close-up)

The West Elevation of Structure 3 includes aluminum-framed single pane windows without a drip flashing along the head with caulk joints around the window frame that are less than a 1/4 inch wide in some cases. The windows along the East Elevation are aluminum-framed single pane windows framed with an unprofiled flat wood molding with mitered corners (Image 75).



Image 73: Structure 3 - West Elevation



Image 74: Structure 3 - West Elevation



Image 75: Structure 3 - East Elevation

On the East Elevation, the wall assembly terminates at the concrete walkway surface with an approximate 2-inch-tall (wood?) curb that appears to be protected with a metal through wall flashing. This metal through wall flashing is heavily oxidized and contains larger corroded areas and will need to be replaced (Images 76-78).



Image 76: Structure 3 - East Elevation (transition at base of wall)



Image 77: Structure 3 - East Elevation (transition at base of wall)



Image 78: Structure 3 - East Elevation (transition at base of wall)

3 Conclusions

The overall condition of all three observed building enclosures is fair to poor. As described in each sub-paragraph of Section 2, a number of assemblies are nearing the end of their lifecycle and will need to be replaced in their entirety to mitigate long term deterioration of the structures.

Before any design related decisions for the building enclosure can be made, some critical aspects need to be further discussed as they will most certainly impact the decision-making process and as such the outcome of the final design. They critical items to be considered are:

3.1 Roof Assembly – Structure 1

If CIDA's final design intends to preserve the roof line / assembly of Structure 1, RWDI would recommend for CIDA to reach out to the City of Cannon Beach to obtain product data of all installed roofing materials that were installed as part of the recent roof assembly upgrade scope so RWDI can review these documents and comment on potential shortcomings / deficiencies that may need to be considered with view to the proposed design concepts.

If the roof assembly was not insulated from the “outside” between the new plywood / vapor barrier control layer and the TPO membrane as drawing A0.2 specifies, is the design team potentially considering a design strategy to insulate the roof assembly from the “inside” against the roof deck? If the answer is yes, it should be noted that insulating roof assemblies from the “inside” can be challenging and risky, as the dew point is moved from the outside to the interior side of building air / vapor control layer thus increasing the risk of potential condensation formation on the underside of the plywood deck. If CIDA wanted to pursue such a design strategy, RWDI would need to hygrothermally study the proposed roof assembly and various tie-in conditions to evaluate the potential risks so the proposed design can address these risk factors accordingly.

Also, given that the project is going through conceptual design at this stage, it may be more cost-effective to hold off with any further seismic upgrades / retrofits until the final design has been established should this be an option. Given the exposure of the structures to the close proximity of the ocean it becomes critical that the building enclosure control layers for water, air and vapor are sequenced and installed in the correct order. Proceeding with seismic upgrades / retrofits without having a fully vetted design could potentially lead to rework of recent upgrades.

3.2 Roof Assembly – Structure 2

It is RWDI's understanding that Structure 2 may be re-roofed as part of the executed contract tied to the seismic upgrade scope. Should the decision be made to go ahead with the re-roofing scope before CIDA's design has been finalized, RWDI would recommend to CIDA obtaining all product data of any already procured roofing products intended to be installed as part of the seismic upgrade so RWDI can review these documents and comment on potential shortcomings / deficiencies with view to the final design arrangement.

3.3 Roof Assembly – Structure 3

As mentioned at the beginning of this report, Structure 3 was not part of the structural evaluation issued by ZCS Engineering & Architecture to the City of Cannon Beach in August 2020. Should CIDA intend to keep this building as part of the design concept moving forward, RWDI would recommend an in-depth evaluation of the structure by a structural engineer prior to any potential detailing effort.

3.4 Exterior Wall Assemblies – Structure 1 | Structure 2 | Structure 3:

In general terms, exterior wall assemblies conceptually designed as a barrier system will not perform as reliably as an exterior wall assembly designed with a rain screen cladding assembly.

Given the time frame when Structures 1, 2 and 3 were constructed, it is safe to assume that all observed existing exterior wall assemblies are conceptually constructed as a barrier system.

With the direct exposure of the structures to the coastal environment, the question arises whether the exiting wall assemblies should not be upgraded to rain screen assemblies. For long-term performance of building envelope, rain screen wall assemblies are recommended by RWDI.

However, there is no easy way to upgrade these assemblies without stripping the exterior cladding assemblies down to the substrate layer from where the rain screen cladding assembly would build up upon. Whether or not this is something that should be considered becomes a critical decision the team will need to make before any conceptual detailing can take place.

Please note that upgrading an existing barrier assembly to a thermally improved envelope assembly has hygrothermal implications that need to be carefully studied. In our climate zone (Marine 4C), when the dewpoint moves to the interior side of a wall assembly (which naturally occurs when you add more insulation into the cavity of the framed assembly), a careful assessment needs to be made whether the “improved” wall assembly is still able to perform (i.e. dry out) before it reaches the danger zone where it could fail long term. If the design team wants to proceed on this path of trying to work with the exiting without removing the cladding material down to the substrate surface, in-depth building and energy code research combined with hydrothermal modeling is recommended, which is outside the scope of this current report.

The observed window and doors assemblies are at the end of their lifecycle and should be replaced in their entirety with thermally broken assemblies that meet current building and energy code requirements.

The structures’ proximity to the ocean should be considered for the selection of proposed building products / assemblies. In that context, it is recommended by RWDI that the design team initiate a meeting at the beginning of the Design Development stage with the shareholders to discuss expectations and minimum performance requirements the design is to meet. Once the minimum

performance requirements have been defined, RWDI can assist in the research and provide recommendations to CIDA for suitable assemblies to be considered as part of the design effort.

RWDI is looking forward to working with CIDA along these lines. Should CIDA have any further questions or want to discuss certain aspects of this report in more detail, please do not hesitate to reach out to RWDI.



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MEMORANDUM

DATE:	2022-06-28	RWDI Reference No.: 2203954
TO:	Dustin Johnson Principal Architect, CIDA, Inc.	EMAIL: Dustinj@cidainc.com
FROM:	George Kourtis Senior Acoustician	EMAIL: george.kourtis@rwdi.com
	Jessie Roy Senior Acoustician	EMAIL: jessie.roy@rwdi.com
	Jasha Kistler, PE ASSOCIATE PRINCIPAL	EMAIL: Jasha.kistler@rwdi.com
RE:	Summary of Existing Room Acoustics CANNON BEACH ES RENOVATION Cannon Beach, OR	

INTRODUCTION

As part of our acoustical scope, RWDI visited the project site on June 22, 2022, to perform aural and visual observations as well as acoustical measurements of a sample of existing spaces at the site.

The visit was performed to assess the existing acoustical characteristics and conditions as well as construction type, siting, and any potential challenges that may exist based on our understanding of the project goals.

DISCUSSION OF ACOUSTICAL METRICS

The main area of focus was the condition of the room acoustics, which are typically assessed via reverberation or decay time (RT). This metric indicates the degree to which sound is reflected or absorbed in a room and is the primary measure of a room's acoustical suitability for various activities. RT is measured by exciting the room with a pink noise source for a brief period of time (1-2 seconds), and then measuring the time it takes for the sound pressure to decay by a factor of 1 million, or 60 dB.



The frequencies that are most critical to the ability to understand speech are termed “Mid-Frequency RT’s” (MFRT’s or MFRT60) and are typically the RT’s for the Octave Bands centered at 500, 1000, and 2000Hz. These give an even better idea of how rooms will provide speech intelligibility.

TARGETS TO CONSIDER

Understanding that room programming has not yet been established, typical design RT ranges for the measured spaces are provided in this section. These targets are to provide an initial point of comparison and are subject to change once programming is established. Please see Table 1 below for MFRT recommendations and the basis of our recommendations. The targets defined in these sources are plotted with the measured results in the figures in the following section of this memo.

Table 1 - Sources of RT targets for spaces.

Space	Type of Space	Recommended MFRT (seconds)	Basis of Recommendation
Rooms 1 and 2	Classroom	0.7 – 0.8	DIN Standard 18042 RGA2 - PRESENTATION & SPEECH (from Front) and RGA3 – EDUCATION & SPEECH (simultaneous talkers)
Gym	Gymnasium	1.5	DIN Standard 18045 RGA5 – SPORT (multiple simultaneous uses)

MEASURED CONDITIONS

Three rooms were measured:

- Room 1
- Room 2
- Gymnasium

The results of the measurements are shown below along with target ranges listed in Table 1. The plots show the RT for each octave band, from lowest to highest in tone, shown from left to right. This is instructive to us in that there are different RT targets for each part of the frequency spectrum based on the intended use of the room.

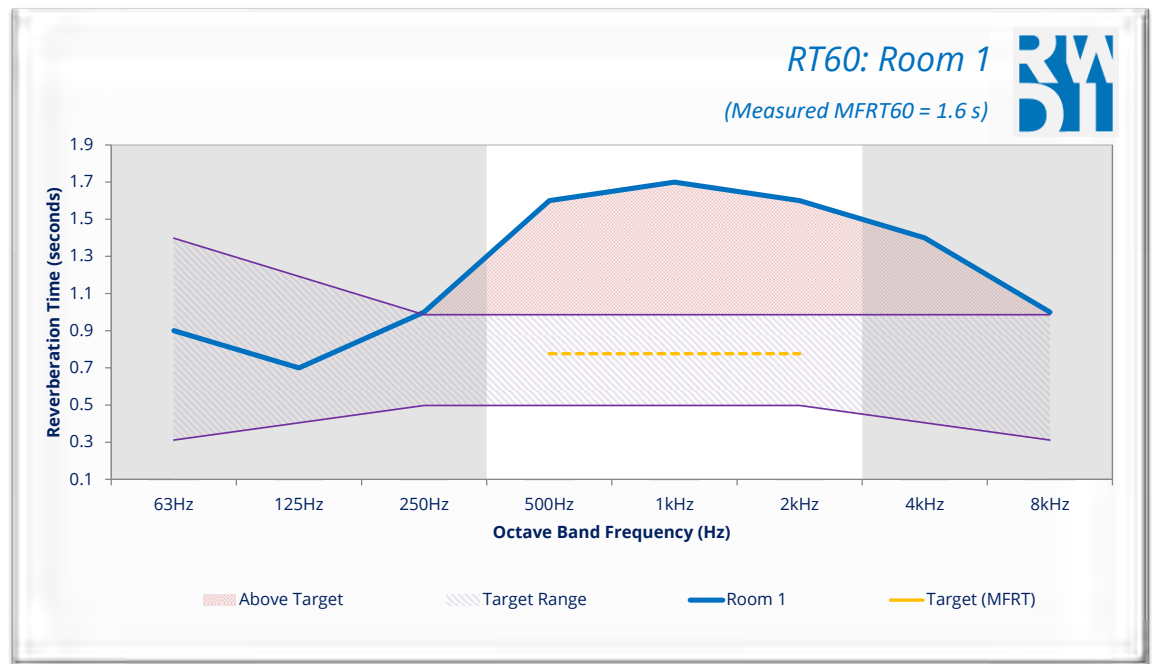


Figure 1 - Measured Room 1 RT's plotted against suggested targets.

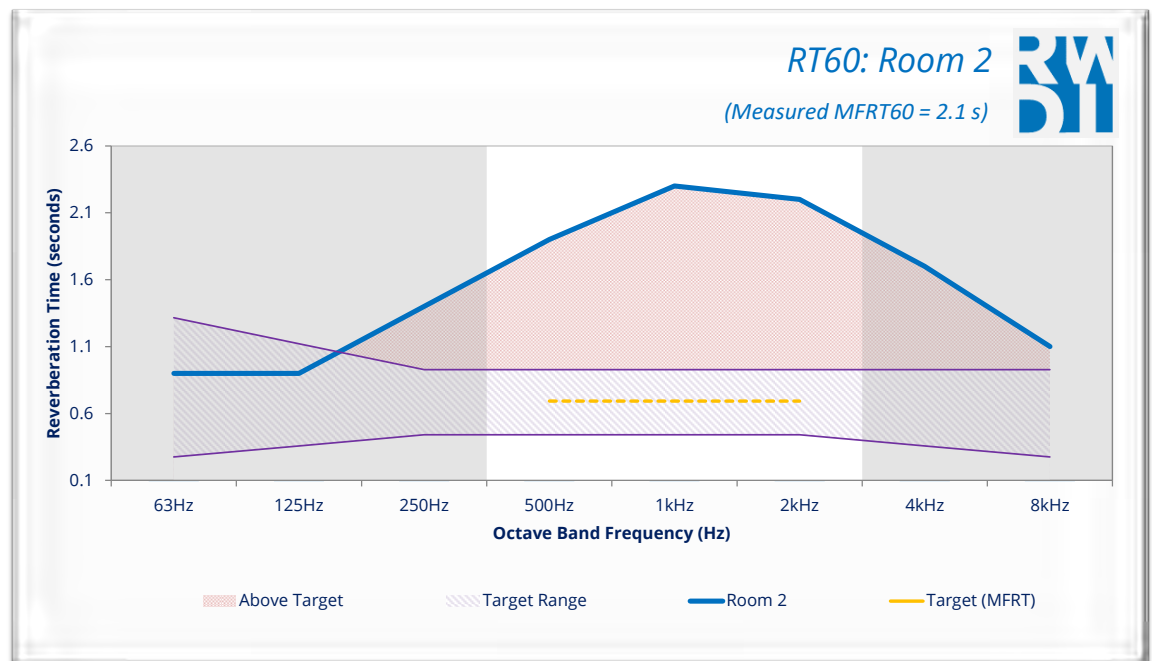


Figure 2 - Measured Room 2 RT's plotted against suggested targets.

Note the MFRT's in Room 2 are much higher than Room 1. This is most likely due to the uninterrupted ceiling surface in Room 2. Room 1 has some exposed/demolished ceiling with exposed structure and possibly insulation in the open cavities. See Figure 3 and Figure 4.



Figure 3 - Room 1 ceiling.



Figure 4 - Room 2 ceiling.

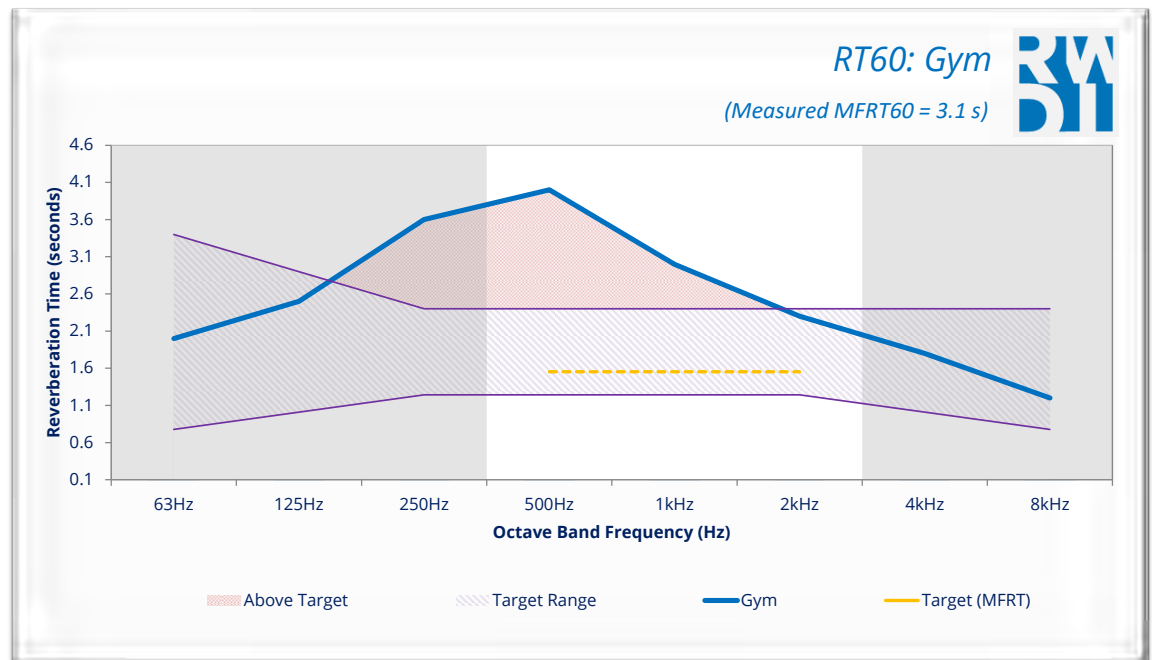


Figure 5 - Measured Gym RT's plotted against suggested targets.



Because of its large volume, barrel-type geometry, and articulated surfaces, the gym has unique acoustical qualities. It's remarkably high MFRT's make it mostly unsuitable for speech presentation. However, these can also enhance some types of music performance, mostly choral uses.

It can be noted from all plots, that the existing conditions of the spaces do not meet the target ranges suggested. These are only suggestions based on possible uses for the rooms. Other targets can be set as the design progresses and programming is refined.

METHODS FOR REACHING TARGETS

In general, reflected sound is controlled via surface finish choices and room geometry. These can include integrating materials into the design that absorb or reflect sound as necessary. Some options can be suggested that allow for "variable acoustics", that allow the RT to be raised or lowered by adding or removing material such as curtains or banners, at will. The room shaping can also determine how sound will behave. This can include geometric irregularities or articulations in hard surfaces. RWDI can collaborate on room design as well.

As the design progresses, programming and design choices are refined, RWDI can assist in meeting targets using these variables.



Dustin Johnson
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JUNE 28, 2022

GENERAL STATEMENT OF LIMITATIONS

This report entitled Cannon Beach ES Renovation Summary of Existing Room Acoustics (June 27, 2022) was prepared by RWD USAI LLC ("RWDI") for CIDA, Inc ("Client"). The findings and conclusions presented in this report have been prepared for the Client and are specific to the project described herein ("Project"). The conclusions and recommendations contained in this report are based on the information available to RWDI when this report was prepared. Because the contents of this report may not reflect the final design of the Project or subsequent changes made after the date of this report, RWDI recommends that it be retained by Client during the final stages of the project to verify that the results and recommendations provided in this report have been correctly interpreted in the final design of the Project.

The conclusions and recommendations contained in this report have also been made for the specific purpose(s) set out herein. Should the Client or any other third party utilize the report and/or implement the conclusions and recommendations contained therein for any other purpose or project without the involvement of RWDI, the Client or such third party assumes any and all risk of any and all consequences arising from such use and RWDI accepts no responsibility for any liability, loss, or damage of any kind suffered by Client or any other third party arising therefrom.

Finally, it is imperative that the Client and/or any party relying on the conclusions and recommendations in this report carefully review the stated assumptions contained herein and to understand the different factors which may impact the conclusions and recommendations provided.

Sazan conducted a building conditions survey of the mechanical, plumbing, fire protection, and electrical systems at the existing facility in Cannon Beach, Oregon. The building was originally constructed to be a school (structure 1) and multipurpose gymnasium space (structure 2).

Electrical: Overall, the current state of the electrical system is approaching the end of its life expectancy. While most electrical distribution equipment appears to be in fair condition given its age, upgrade to the electrical service would be required for building modernization. We would recommend the following work to ensure safety, functionality, and reliability of the electrical system for future use:

- Replace/upgrade main building electrical service and implement a centralized battery backup system for emergency power of egress lighting.
- Replace panelboards with new and replace any deficient feeder conductors.
- Replace deficient receptacles, wiring, and general upgrade to existing electrical equipment.
- Replace fluorescent and incandescent fixtures with high-efficiency LED lighting to comply with latest energy code requirements. New lighting to include emergency egress illumination in required spaces.
- Provide new code compliant fire alarm and detection system and provide rough-in for access control, intrusion detection, and CCTV system, as needed, to meet programming requirements.
- Provide additional data outlets and replace deficient cabling as needed. Evaluate upgrading existing internet and telephone system to meet future programming requirements.
- Space Types:
 - o Classroom Building:
 - Provide new LED type luminaires with the latest energy code compliant control system including dimming, occupancy on/off, and daylight harvesting.
 - Provide energy code compliant quantity of controlled receptacles.
 - Provide low-voltage pathways and cabling for data outlets and any A/V presenting/teaching systems.
 - o Multipurpose Gymnasium Building:
 - Provide lighting and receptacle upgrades as described in the above. Provide additional accent/track lighting and/or additional ceiling or poke-thru box receptacles for art exhibit accent lighting flexibility.
 - Provide low voltage pathways and cabling for a performance sound system consisting of for instance: speakers throughout, wireless microphone, and a centralized control cabinet.
 - o Kitchen in Multipurpose Building:
 - Provide electrical and fire alarm connections for Type I hood system.
 - Provide additional electrical connections as needed for new kitchen equipment/devices.
 - Provide replacement LED luminaires with code-compliant controls.
 - o Storage Spaces:
 - Provide replacement LED luminaires with occupancy sensor controls.

Mechanical and Plumbing: Overall, the current state of the mechanical system is at the end of its life expectancy. Most mechanical and plumbing equipment, while functional, is at the point in its life cycle that continued repair is not expected to prolong the system's life in a meaningful manner. We would recommend the following work:

- Replace all existing equipment with new. Provide low maintenance options that meet the needs of the current energy code.

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- Provide a means of mechanical ventilation in the building. Energy Recovery Ventilator (ERV) to be ducted to all occupied spaces to provide outside air during all occupied time. The ERV would be ducted to all restrooms, janitors' closets, locker rooms, etc to provide the required exhaust as well.
- Space Types:
 - o Classroom Building:
 - Ventilation to be provided by an energy recovery ventilator located on the roof and ducted into the space. Ductwork to run at high level on interior wall of the space.
 - Space to be heated by an electric resistance heater located in the ERV supply ductwork.
 - Controls for this space to be capable of temperature control only.
 - No means of mechanical cooling to be provided.
 - New plumbing piping to be provided throughout for domestic cold and hot water. Existing sanitary piping to be reused to the greatest extent possible. Scoping to be provided to determine feasibility of reuse.
 - New fire protection system to be provided.
 - o Multipurpose Gymnasium Building:
 - Ventilation to be provided by an energy recovery ventilator located on grade ducted into the space. Ductwork to run at high level center of the space.
 - Space to be heated by an electric resistance heater located in the ERV supply ductwork.
 - Controls for this space to be capable of temperature control only.
 - No means of mechanical cooling to be provided.
 - New plumbing piping to be provided throughout for domestic cold and hot water. Existing sanitary piping to be reused to the greatest extent possible. Scoping to be provided to determine feasibility of reuse.
 - New fire protection system to be provided.
 - o Kitchen in Multipurpose Building:
 - Space to be heated electric resistance heaters.
 - Type 1 hood to be provided. Exhaust to run to roof and terminate with upblast style exhaust fan.
 - Makeup air unit to be located on roof and duct to hood connections.
 - Controls for this space to be capable of temperature control and exhaust and makeup air equipment control.
 - o Storage:
 - Electric resistance heaters only for partial space heating.
 - Controls for this space to be capable of temperature control only.
- Provide new plumbing fixtures at all locations along with new faucets, flush valves, etc.
- Provide all new domestic plumbing piping, both cold and hot water with code compliant insulation.
- Replace domestic hot water boiler with new electric tank type unit.



CBE REJUVENATION PROJECT

PROGRAMMING
DISCOVERY
PACKET



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CBE Rejuvenation Project: Community Outreach Executive Summary

June 7, 2022

Introduction

As part of the Programming Phase for the CBE Rejuvenation Project CIDA, our consultants and members of City Government met with the general public to discuss high-level programmatic and cultural aspects of the project. These events were not intended to host design-oriented discussions, but rather provided opportunities for all interested parties to voice their interests, ideas, goals and perceived challenges for the project. A total of three public community outreach events (COEs) were held and were scheduled and formatted so as to maximize public representation, and as follows:

COE #1:

Date and Time: April 30th, 2022 from 10am to Noon
Location: On-Site
Format: In-Person. Introductions by members of City Government, Clatsop-Nehalem Tribal Organization and CIDA. Building and site walk. Break out discussions with individuals. Primary focus on existing structures.

COE #2:

Date and Time: May 11th, 2022 at 6pm
Location: Cannon Beach City Hall and Virtually via ZOOM
Format: Open Forum Q&A Session. Introduction by members of City Government and CIDA.

COE #3:

Date and Time: April 27th, 2022 from 2pm to 4pm
Location: On-Site
Format: In-Person. Introductions by members of City Government and CIDA. Building and site walks. Break out discussions with individuals. Primary focus on site.

A separate outreach event was held with members of the Clatsop-Nehalem Tribal Organization. In addition to being an opportunity for the Design Team and Tribal Members to meet each other, this event served as a platform for the Design Team to learn about the Tribe's cultural heritage and historical use of the site, their traditions, and values, as well as their goals and concerns for the current project. This meeting was held on April 8th, 2022 at Chamber of Commerce and in a round table discussion format, followed by a walk-through of the buildings and site. In addition to attending this meeting, members of the Clatsop-Nehalem Tribal Organization also had an opportunity to participated in each of the public outreach events.

At each outreach event information was gathered in the form of notes taken by members of CIDA and our consultants during group or the break-out discussions with individuals. These notes were then gathered, collated and compared against other design team member notes for consistency and accuracy.

In recognizing that not all interested public stakeholders and interested parties would be able to attend a community outreach event and in an effort to encourage maximum public participation, the City of Cannon Beach and CIDA provided alternate tools for gaging stakeholder sentiment and interests for the project. At the onset of the project the City created a project website at www.reimaginecbe.com where current project information is posted and where individuals can provide project input. In addition, CIDA formatted a survey that could be taken and either mailed or e-mailed to CIDA. This survey was made available at each community outreach event

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where participants could take and distribute to their friends, neighbors and family, as well as made available on the City's website noted above.

CIDA's primary goal during this discovery process was to ask informative questions, listen and then gather, organize and prioritize the information received so as to gain a comprehensive understanding and magnitude of each of the stakeholder's interests, goals and concerns for the project. Information gathered will be presented to City Council as a matter of public record and used to inform the program for the project as it progresses into the Schematic Design Phase. While it is not realistic to expect that all stakeholder goals will be met by the final design for the project, information gathered during these events will help to ensure that the priorities of Cannon Beach residents and visitors, members of the Clatsop Nehalem Tribal Organization and other interested individuals and groups are considered and prioritized to the maximum extent practicable as plans commence to rejuvenate the former Cannon Beach Elementary School and site.

Methodology:

CIDA's process of organizing and condensing the information gathered involved three sequential steps described as follows:

- I. **Category:** CIDA carefully reviewed notes taken during discussions with each public stakeholder represented at the community outreach events, as well as each survey received, and from them developed a list of broad stroke categories that each of the stakeholder's interests or concerns are generally described by. These categories are:
 - ☐ Community Gathering Space
 - ☐ Education & Workshop
 - ☐ Event Space
 - ☐ Kitchen Space
 - ☐ Miscellaneous
 - ☐ Museum & Exhibition
 - ☐ Recreation
 - ☐ Site Access & Parking
 - ☐ Sustainability & Nature
 - ☐ Tribal Heritage
 - ☐ Views & Aesthetics

Each category was then assigned a unique color as can be seen in the following Graphic 1A below. The colored 'button' for each category is then used directly on the notes and surveys to help graphically identify the interests of each stakeholder and to ensure each interest or concern has been represented (COE notes and surveys are attached as Exhibit A). For the purpose of objectifying this process for accuracy, CIDA tasked a staff member unfamiliar to the specifics of the project and not in attendance at any of the community outreach events to review the notes, create the categories and catalogue each of the stakeholder interests and concerns.

2. **Filter:** During the community outreach event efforts there were several instances of single stakeholders speaking with several team members in separate break out discussions, attending multiple COE events and/or filling out surveys in which the same or similar interests were reiterated. As a means to control the magnitude of each stakeholder interest, goal and concern documented, CIDA reviewed notes taken by all Project Team members across all community outreach events and for the purpose of discerning duplication by the same stakeholder. These distilled stakeholder criteria were also vetted against the individual surveys received. The result of this process is represented in the following Graphics 2A – 2D. 'Similar' interests or concerns are represented by color, with the intent that each sticky note of the same color represents a different stakeholder. With the exception of the 'Concerns' category, the colors used for the sticky notes relate back to the color used in the infographic (Graphic 1A). Since most of the concerns fell into the 'Miscellaneous' category of Graphic 1A, and for the purpose of more accurately conveying

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the concerns verbalized by the public stakeholders, we created a separate, more granular list of categories with unique colors for Graphic 2C. The goal of this filtering process and associated graphics is to provide an accurate perspective of public stakeholder interests and concerns without over or under-representing singular stakeholders.

3. **Prioritize:** This is the process of applying magnitude to each of the catalogued goals and challenges in the previous tasks. The magnitude of a particular category is determined by the quantity of stakeholders representing that category. This final process is represented as simple statistics in the below Graphics 3A – 3D.

Findings and Recommendations:

As the following Graphics 3A – 3D indicate, the primary public stakeholder interests and concerns distilled from the community outreach events are as follows (Results indicated below are for top 50% for each category):

- ☐ For 'Building Vision' Category:
 - o Event Space 23%
 - o Recreation 21%
 - o Museum and Exhibition 14%
- ☐ For 'Site Vision' Category
 - o Access & Parking 22%
 - o Recreation 14%
 - o Tribal Heritage 12%
- ☐ For 'Concerns' Category
 - o Community Concerns 23%
 - o Funding/ Costs 18%
 - o Building Design 18%
- ☐ For 'Proposed Solutions' Category:
 - o Tribal Heritage 36%
 - o Community Gathering Space 15%

In addition to these statistics based on each category, there were several interests and concerns that resonated with the Design Team as needing to be recognized aside from how they were catalogued because of how the interest distills popular public sentiment, how it captures cultural sensitivity or due to of the resolve of the comment as it relates to difficult design challenges. Those notable items are as follows:

Tribal Stakeholder Comments (Clatsop-Nehalem Outreach Meeting):

- *The existing buildings lack a visual connection to the estuary. Connectivity between people and nature is highly valued in tribal culture.*
- *The Ne'cus site was traditionally a place of welcoming and hosting visitors traveling by water. This is the reason the Welcoming Man faces west. Consider incorporation of a new welcoming figure facing East to greet travelers of today.*
- *We want the public to know the history of the site, how our ancestors lived with the land, and to know that we are still here.*
- *We hope the site and buildings will be developed in a way that respects tribal values (i.e. sustainable, minimalistic, strong connection with nature) and isn't done in a false or 'cartoonish' manner.*
- *Ne'cus should be for everyone, enjoyed by all, and a place where all cultures and walks of life can exist harmoniously together.*

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- *Our ancestors lived there for millennia, we don't want to show up to be turned away.*
- *We would like to be able to use the site to host other tribes and to hold our traditional ceremonies.*

Public Stakeholder Comments (COE #s 1-3):

- *The existing buildings help buffer the park from off-site noise impact, lending to the site's serenity.*
- *The food bank should remain. It is critical for the community and highly used.*
- *We must respect the tribal history of the site. We don't know exactly what that history is, but we would like to learn about it when experiencing the buildings and site.*
- *The buildings and site should be available to the Cannon Beach community. There are few places like the existing gym that can accommodate large gatherings of the local community.*
- *The spaces should be used to support tourism, local businesses and residents by being used to host community events and exhibitions, as well as provide for indoor and outdoor recreation.*
- *No parking between the buildings and estuary. We can't give homage to the historical and ecological significance of the site while looking through a parking lot.*
- *Has the Design Team discussed options with the city for possibly waiving the parking requirements? Cannon Beach is a walkable town, people will find a place to park like they do now. Parking shouldn't be the driving factor in developing the site.*
- *The site needs to be a place of learning and of self-reflection. A place to be discovered and to discover oneself.*
- *Use of the site and buildings should strike a balance between visitor and local interests.*

While the community outreach events were represented by a diverse cross section of the Cannon Beach community, CIDA noted that the Latinx community, local businesses and visitors were underrepresented at these events. For greater accuracy in representing a holistic voice of Cannon Beach with regards to this project we recommend additional outreach events targeted at incorporating these three stakeholders be held.

In general, in speaking with the public and tribal stakeholders throughout this outreach process the Design Team was left with the resounding sentiment that the local community and the Clatsop-Nehalem Tribe are in support of reactivating the Ne'cus site. Perceived challenges were articulated with most notable being the desire to not have parking between the existing structures and the estuary, on-site and off-site wayfinding, preservation of tribal heritage and securing adequate budget to sufficiently meet the project vision, all of which we will endeavor to further define and resolve with additional community outreach and City collaboration in the next project phase. The vast majority of goals and interests expressed by individual stakeholders are largely in sync with one another, lending to a unified vision of Ne'cus as an adaptive, culturally rich gathering place for visitors, locals and the Tribe for a range of group-oriented functions.

End of Executive Summary

CBE REJUVENATION PROJECT

STAKEHOLDER CRITERIA INFOGRAPHIC (1A)



- Various areas to exhibit artifacts and images.
- Space to present information and history.
- Museum-like spaces.
- Experiences as you move through the space and site.
- Areas to preserve and study information from the community.

MUSEUM & EXHIBITION



- A core space to support and represent local artists, groups, companies, etc.
- Representation that community is the backbone of Cannon Beach.
- Approachable.
- A place to gather and come together as a community.

COMMUNITY GATHERING SPACE



- Creative ways to meet parking needs for site and City.
- Accessible parking and access to the site.
- Alternate transportation ideas such as shuttles.
- Exploring alternate materials than asphalt for the parking lot.
- Consider submitting a waiver for parking requirements.

SITE ACCESS & PARKING



- A center to educate visitors and the community of the importance of site and its history with the Tribe.
- A place to experience nature and find peace.
- A way to show that the Tribe is still here and has a presence in the community.
- A place to gather and host other tribes for ceremonial events.

TRIBAL HERITAGE



- Sustainable practices throughout the project and not an afterthought.
- Be resourceful, creative and practical similar to how the Tribe used to live.
- Doesn't necessarily need to be 3rd party certified.
- A conduit of change.
- On-site renewable energy
- Native plantings

SUSTAINABILITY & NATURE



- The site is a “gateway” or entrance into Cannon Beach.
- Spaces for visitors to see the creek/water from the buildings.
- Architecturally significant.
- Blur the line between indoor and outdoor spaces.

AESTHETICS & VIEWS



- Spaces to cook meals as a group.
- Areas for traditional cooking.
- Teaching kitchens for those who would like to learn.
- Opportunities for culinary arts.
- Commercial/catering spaces for events and larger groups.

KITCHEN SPACE



- A place for year-round recreation, allowing the community to be active even when the weather is unfavorable.
- Flexible spaces where people can be active, no matter their choice of activity.
- Space for kids to go and be themselves and get their energy out.

RECREATION



- A hub for performing arts, art, music.
- Gathering space for the community.
- Practice space for various groups.
- Support space for local artists.
- Flexible spaces for different size and types of events.

EVENT SPACE



- Spaces for local groups to teach and provide workshops.
- Areas to learn about the history of the site.
- A place of learning, researching, and experiencing.
- A hub to share knowledge and culture.
- Interpretation center.

EDUCATION & WORKSHOP



- The site can show that this is a HOME for people, not just a stop along the way.
- Honor the history of it being a school. It was a gathering space for many families over the years.

MISCELLANEOUS

BUILDING VISION

ART SPACE	ART SPACE	FLEXIBLE SPACE	ART SPACE	YOGA/ DANCE SPACE	RECREATION SPORTS	FLEXIBLE SPACE	GYM UTILIZED DURING WINTER	PUBLIC RESTROOMS	IMPROVE ACOUSTICS	PUBLIC RESTROOMS	PUBLIC RESTROOMS	SUSTAINABLE	SOLAR PANELS
ART SPACE	MUSIC SPACE	IMPROVE ACOUSTICS	FLEXIBLE SPACE	SENIOR ACTIVITES	GAME ROOM	SPACE FOR VOLUNTEERS	INDOOR RECREATION	KITCHEN	RETAIL SPACE	IMPROVE ACOUSTICS	IMPROVE ACOUSTICS	EDUCATION CLASSES	SUSTAINABLE
ART SPACE	ART SPACE	EVENT SPACE	MUSIC SPACE	PICKLE BALL	SENIOR ACTIVITES	MOVIE THEATER	PICKLEBALL	POT LUCKS	KITCHEN	KITCHEN	RETAIL SPACE	WORKSHOP SPACE	SUSTAINABLE
MUSIC SPACE	EVENT SPACE	ART SPACE	WEDDING VENUE	SWEAT LODGE	SKATE PARK	HOST RANGE OF ACTIVITIES	OUTDOOR THEATER	KITCHEN	CULINARY ARTS	KITCHEN	EDUCATION ON LOCAL BIRDS	EDUCATION CLASSES	RELATE DESIGN TO TRIBE
EVENT SPACE	ART SPACE	EVENT SPACE	EVENT SPACE	PICKLE BALL	RECREATION SPORTS	INDOOR RECREATION	PICKLE BALL	KITCHEN	KITCHEN	CULINARY ARTS	WORKSHOP SPACE	SUSTAINABILITY	RELATE DESIGN TO TRIBE
ART SPACE	ART SPACE	EVENT SPACE	ART SPACE	INDOOR RECREATION	MEDITATION SPACE	SUMMER CAMP	PICKLE BALL	PRESERVE EXISTING BUILDING/ MATERIALS	SUSTAINABILITY AND NATURE	EATING SPACE	MEETING ROOMS	GATHERING SPACE	
ART SPACE	ART SPACE	ART SPACE	EVENT SPACE	YOUTH PROGRAMS	FLEXIBLE SPACE	MURALS	MURALS	PRESERVE EXISTING BUILDING/ MATERIALS	INDOOR/ OUTDOOR SPACES	GATHERING SPACE	GATHERING SPACE	GATHERING SPACE	
MURALS	MURALS	MURALS	MURALS	MURALS	MURALS	MURALS	MURALS	GOOD LIGHTING	EXPOSE CONCRETE SLAB	ADDITIONAL CLASSROOM STORY	MEETING ROOMS	MEETING ROOMS	
MURALS	MURALS	MURALS	MUSEUM	MUSEUM	MUSEUM	INDOOR/ OUTDOOR SPACES	GOOD LIGHTING	DESIGN CONSISTENT WITH COASTAL TOWN	GOOD LIGHTING	MOVE CLASSES NORTH	MEETING ROOMS	MEETING ROOMS	

GRAPHIC 2A: STICKY NOTES 'BUILDING VISIONS'
CBE REJUVINATION
CANNON BEACH, OR

SITE VISION

BIKE PARKING	PARKING LOT LOCATION	PARKING SPACE	FOOT BRIDGE TO PARK	EV PARKING	WELCOMING MAN	SHOW NECUS HISTORY	IMPROVE PARK	NATURE TRAILS	WALKING PATHS	FEEL WELCOMING	SENSE OF COMMUNITY	KEEP SITE CLEAN	SEATING ALONG CREEK
BIKE PARKING	PARKING SPACE	PARKING SPACE	PARKING SPACE	NATIVE PLANT GARDEN	SHOW NECUS HISTORY	PERMANENT CANOE	BIKE PATHS	SEASONAL OUTDOOR ACTIVITIES	SENSE OF COMMUNITY	SENSE OF COMMUNITY	ORIGINAL SENSE AND FEELING	LANDMARK	GATEWAY INTO CITY
PARKING SPACE	KEEP PARKING	ANGLED PARKING	SHUTTLE SERVICE	WAYFINDING	WELCOMING MAN	NATURE TRAILS	BIKE PATHS	HITCHING POST	SENSE OF COMMUNITY	SENSE OF COMMUNITY	FIRE PITS	FIRE PITS	ARCHITECTURALLY SIGNIFICANT
TREES	OPEN FIELD	GARDEN SPACE	CONNECT TO NATURE	FRAGRANT PLANTS	FARMERS MARKET	FARMERS MARKET	POP-UP BOOTHS	ART IN THE PARK	FARMERS MARKET	FIRE PITS	PORTABLE TENTS	FIRE PITS	OUTDOOR COOKING
EDUCATION SPACE	EDUCATION SPACE	EDUCATION SPACE											

GRAPHIC 2B: STICKY NOTES 'SITE VISIONS'

CBE REJUVINATION

CANNON BEACH, OR

CONCERNS

FOR-PROFIT	COMMUNITY VS. BUSINESS	USED FOR TOURISM	USED FOR TOURISM	FUNDING	DISTRUPTION TO COMMERCE	BUILDING FOOTPRINT	BUILDING DESIGN	SAFETY	TSUNAMI	DEMO BUILDINGS	REMOVE SOME TREES AND ROCKS	NOT TO DISTURB ARTIFACTS	HAVE ENOUGH PARKING
USED FOR TOURISM	COMMUNITY VS. BUSINESS	WON'T VALUE OPINIONS EQUALLY	NO PURPOSE	COSTS	FUNDING	PROJECT MIGHT LOOK TOO COMMERCIAL	DESIGN	GYM ACOUSTICS	EASY CLEANING	PROJECT MANAGEMENT	NO GREEN BUILDING	REMOVE PARKING	PARKING BY NATURE TRAILS
REMOVE FOOD PANTRY	COMMUNITY VS. BUSINESS	FOR-PROFIT	FUNDING	FUNDING	NEEDS TO BE PROFITABLE	DESIGN	DIFFERENT FROM VILLAGE AESTHETIC	STRUCTURE DESIGN	ASBESTOS	VALUE OPINIONS EQUALLY	SHORELINE	WALKABILITY	SCHOOL WILL FACE PARKING LOT
WON'T FOCUS ON WHAT'S IMPORTANT	WON'T ADDRESS COMMUNITY NEEDS	WILL DISPLACE FOOD BANK	FUNDING	FUNDING	COSTS	TIGHT BUDGET	FLEXIBILITY	BUILDING DESIGN	FLEXIBILITY	POLITICS	AGREEMENT ON PURPOSE	ACCESSIBLE	PARKING LOT LOCATION
VISITORS USE IT FOR PARKING	NOT JUST A GALLERY	NOT USED FOR GATHERINGS	NO PICKLE BALL	NO PICKLE BALL	WON'T RESPECT HISTORY								

	COMMUNITY CONCERNS		SUSTAINABILITY
	FUNDING/COSTS		ACCESS/PARKING
	BUILDING DESIGN		BUILDING/SITE USES
	HEALTH & SAFETY		TRIBAL HISTORY
	DECISION MAKING		

GRAPHIC 2C: STICKY NOTES 'CONCERNS'

CBE REJUVINATION

CANNON BEACH, OR

PROPOSED SOLUTIONS

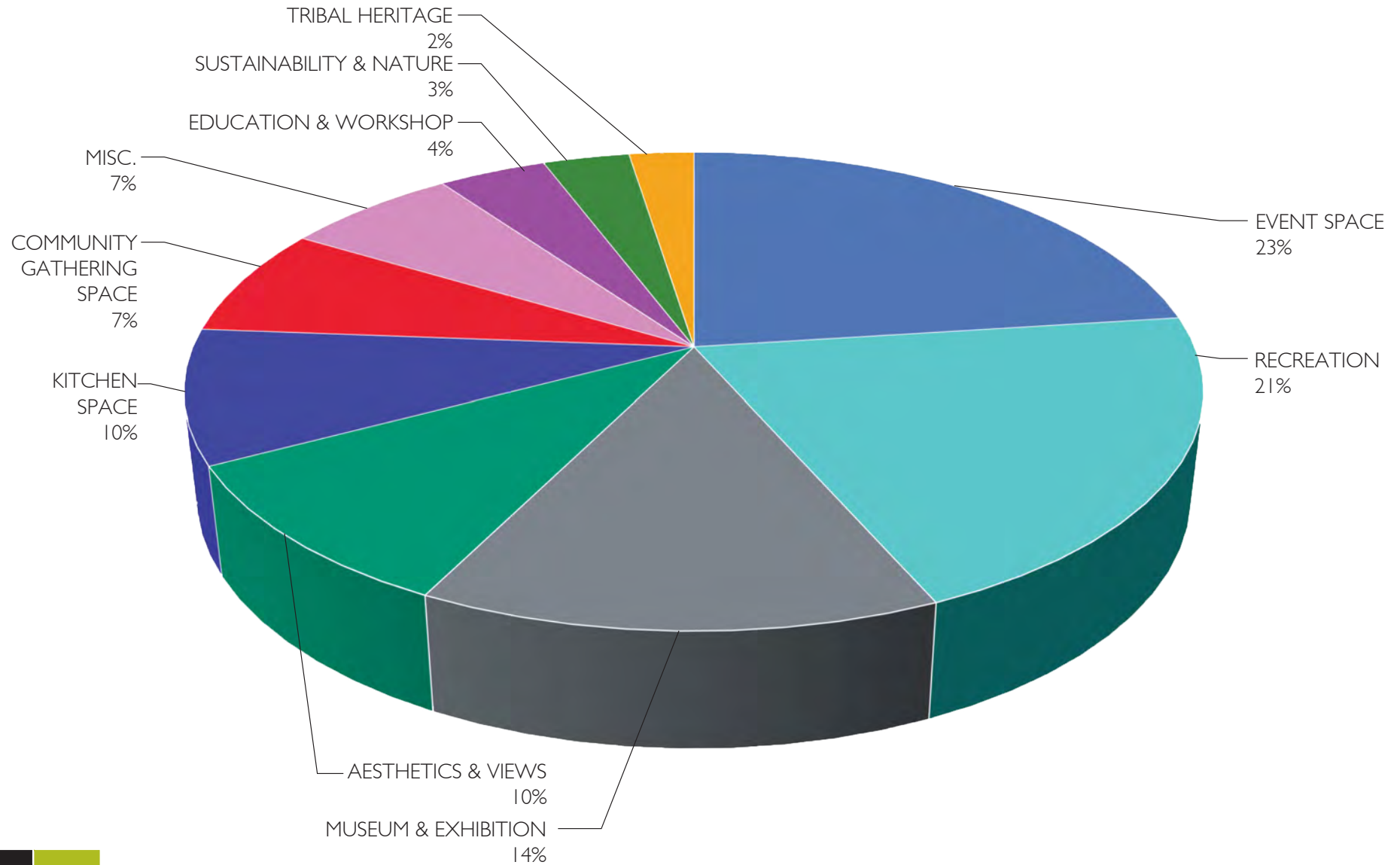
SHOW SITE HISTORY	MAKE MONEY FOR TRIBE	SHOW NATIVE HISTORY	ACCENTUATE HISTORY	SHOW NATIVE HISTORY	SPACE FOR LOCALS	SPACE FOR CHILDREN	PHOTOS OF SCHOOL	HONOR SCHOOL HISTORY	LEARNING AND REFLECTION	CHILDRENS EDUCATION	FOOD BANK	FUNDRAISER OPPORTUNITY	FOOD BANK
HONOR TRIBE HISTORY	SHOW NATIVE HISTORY	HONOR TRIBE HISTORY	HONOR TRIBE HISTORY	SHOW NATIVE HISTORY	FOR RESIDENTS AND TOURISTS	PRIORITIZE RESIDENTS	HOST WEEKLY EVENTS	ANNUAL SALMON CELEBRATION	SUSTAINABLE SOLUTIONS	SUSTAINABLE SOLUTIONS	SERVE AS ANOTHER LANDMARK	MOVE CLASSES NORTH	
SHOW NATIVE HISTORY	SHOW SITE HISTORY	SHOW NATIVE HISTORY	SENSITIVE TO TRIBAL HERITAGE	KEEP HISTORICAL ITEMS	FOR PUBLIC USE	FOR RESIDENTS AND TOURISTS	MOVE PARKING OFF-SITE	HOST COMMUNITY EVENTS	OCEAN AWARENESS	NATURAL OPEN SPACE	ACT AS FOCAL POINT		
LAND STATEMENT BY TRIBE	SHOW SITE HISTORY	RECOGNIZE TRIBE AND COMMUNITY	SHOW NATIVE HISTORY	MAXIMIZE PUBLIC AREA	CATER TO LOCAL NEEDS	BUS ROUTE	MOVE PARKING SOUTH	ANNUAL SALMON CELEBRATION	SHOW NATURAL HISTORY	NATURAL OPEN SPACE	MOVE CLASSES NORTH		

GRAPHIC 2D: STICKY NOTES 'SOLUTIONS'

CBE REJUVINATION

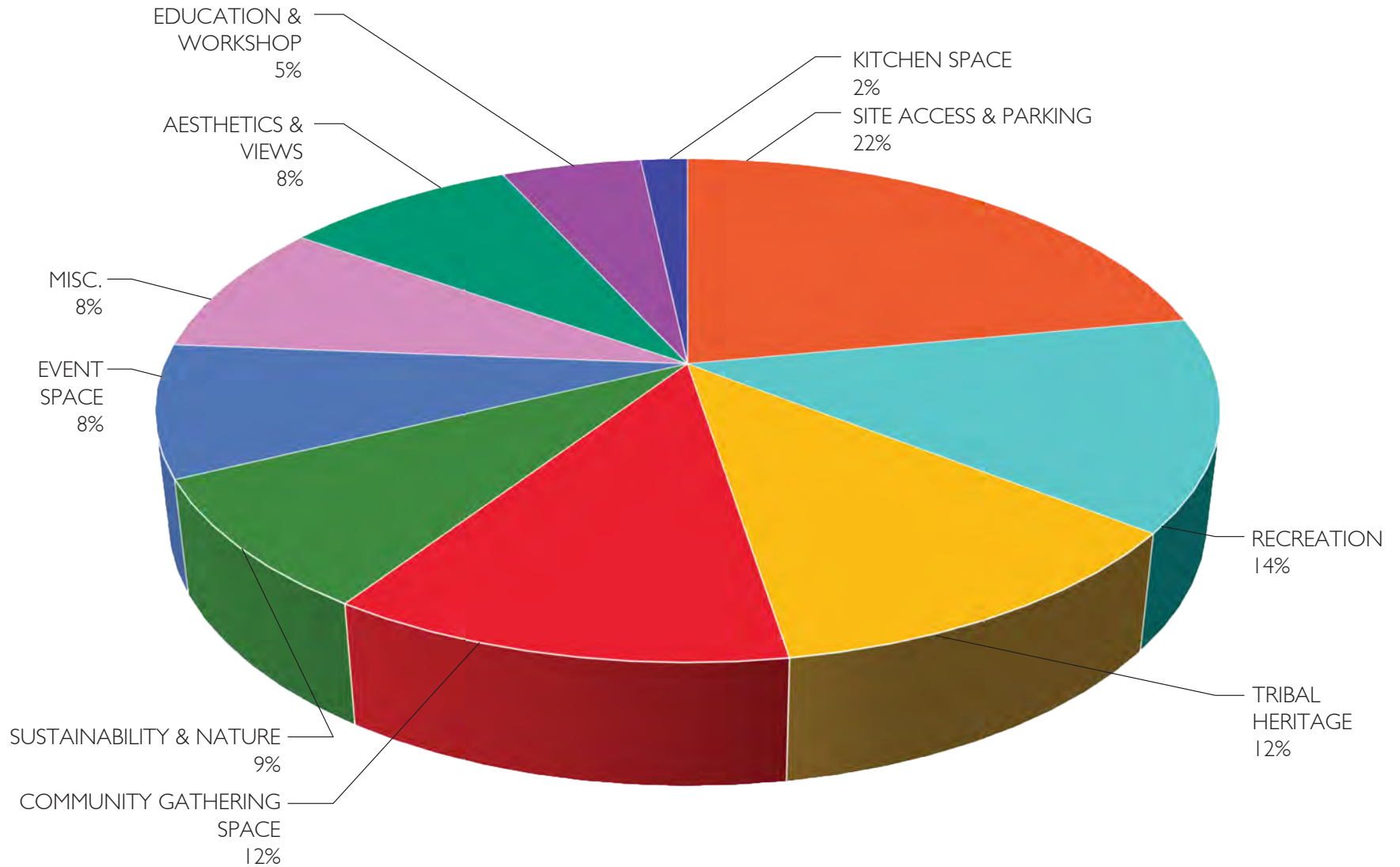
CANNON BEACH, OR

BUILDING VISIONS



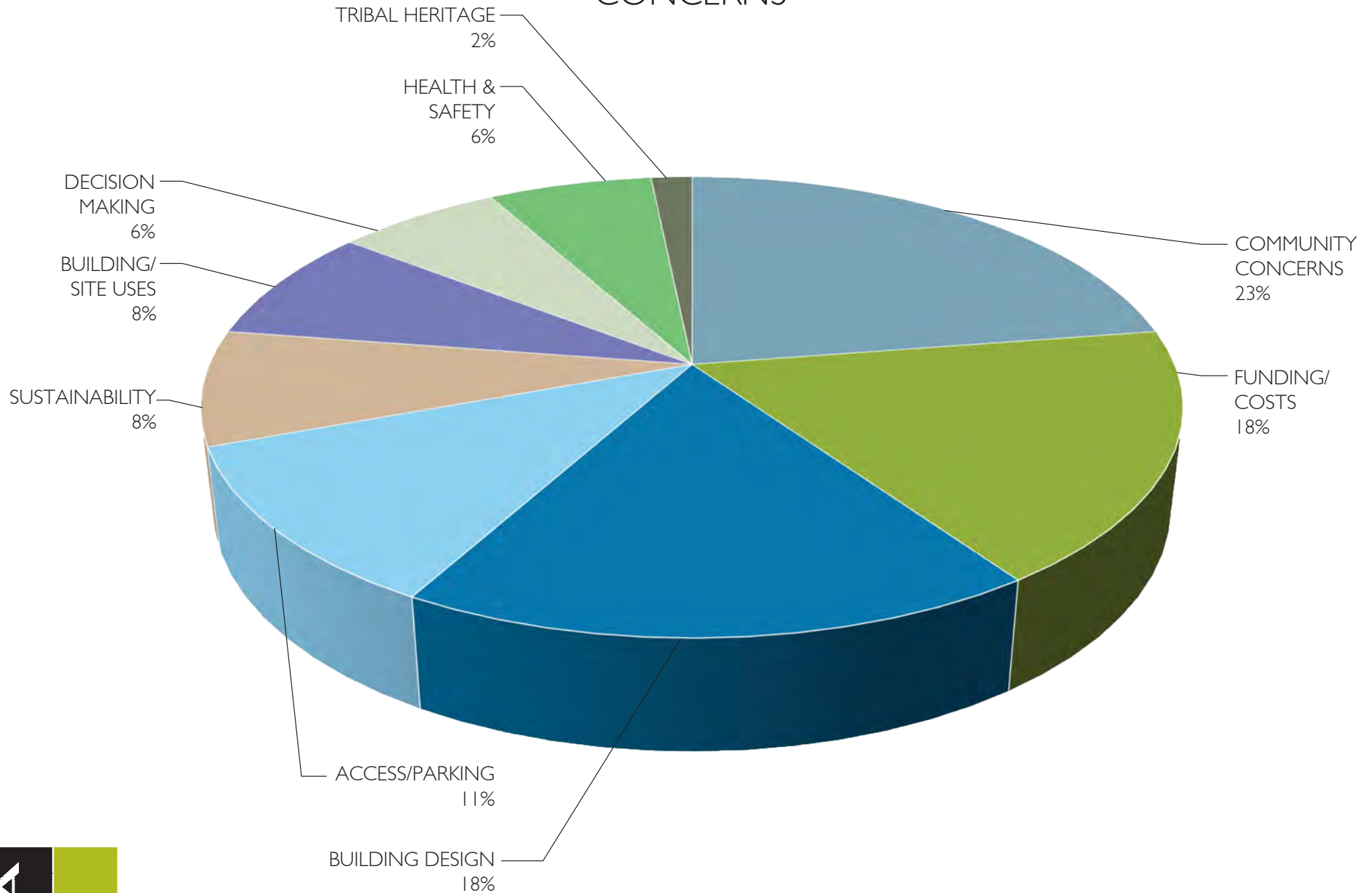
GRAPHIC 3A: PIE CHART 'BUILDING VISIONS'

SITE VISIONS



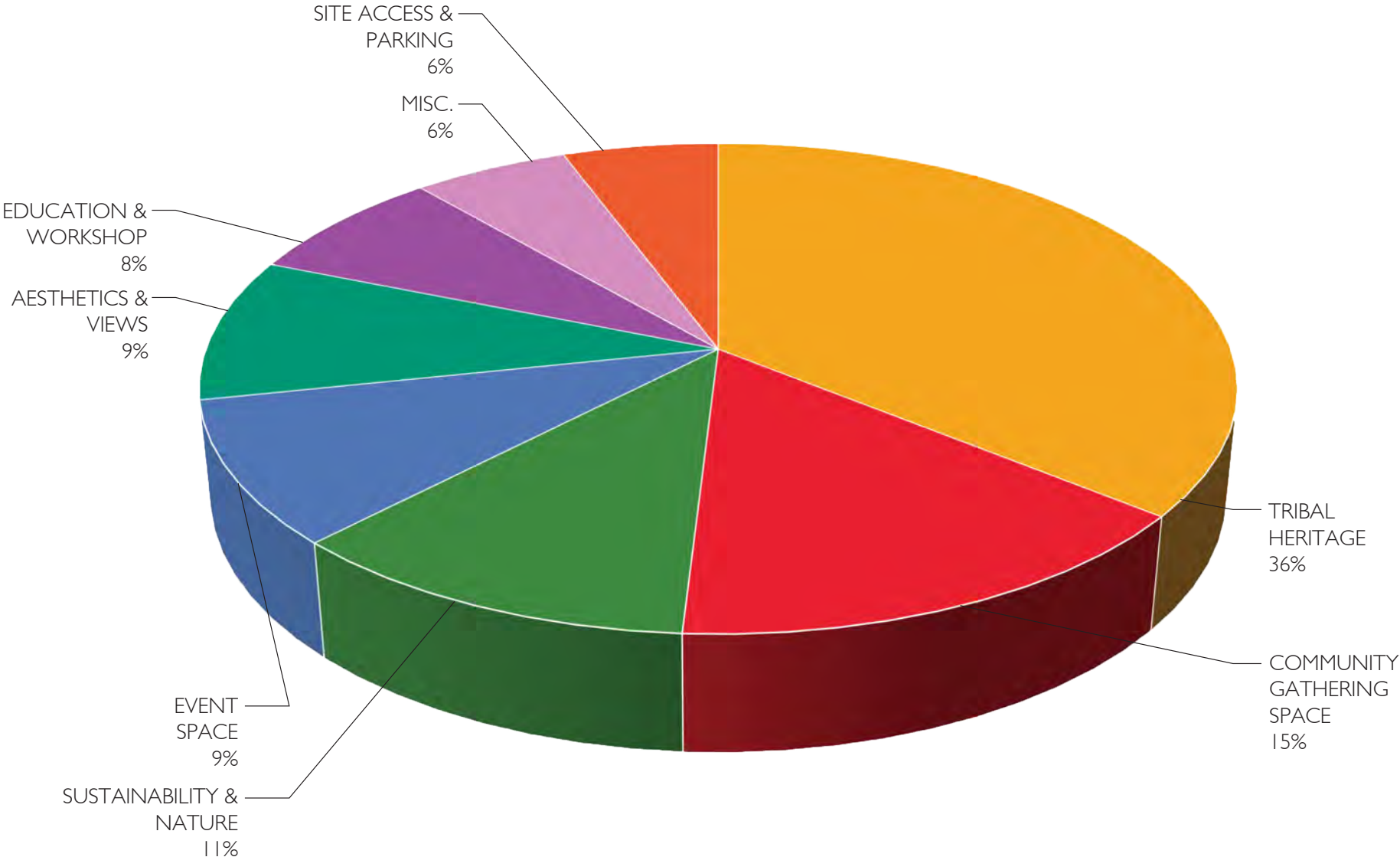
GRAPHIC 3B: PIE CHART 'SITE VISIONS'

CONCERNS



GRAPHIC 3C: PIE CHART 'CONCERNS'

PROPOSED SOLUTIONS



GRAPHIC 3D: PIE CHART 'SOLUTIONS'

CBE REJUVINATION
CANNON BEACH, OR

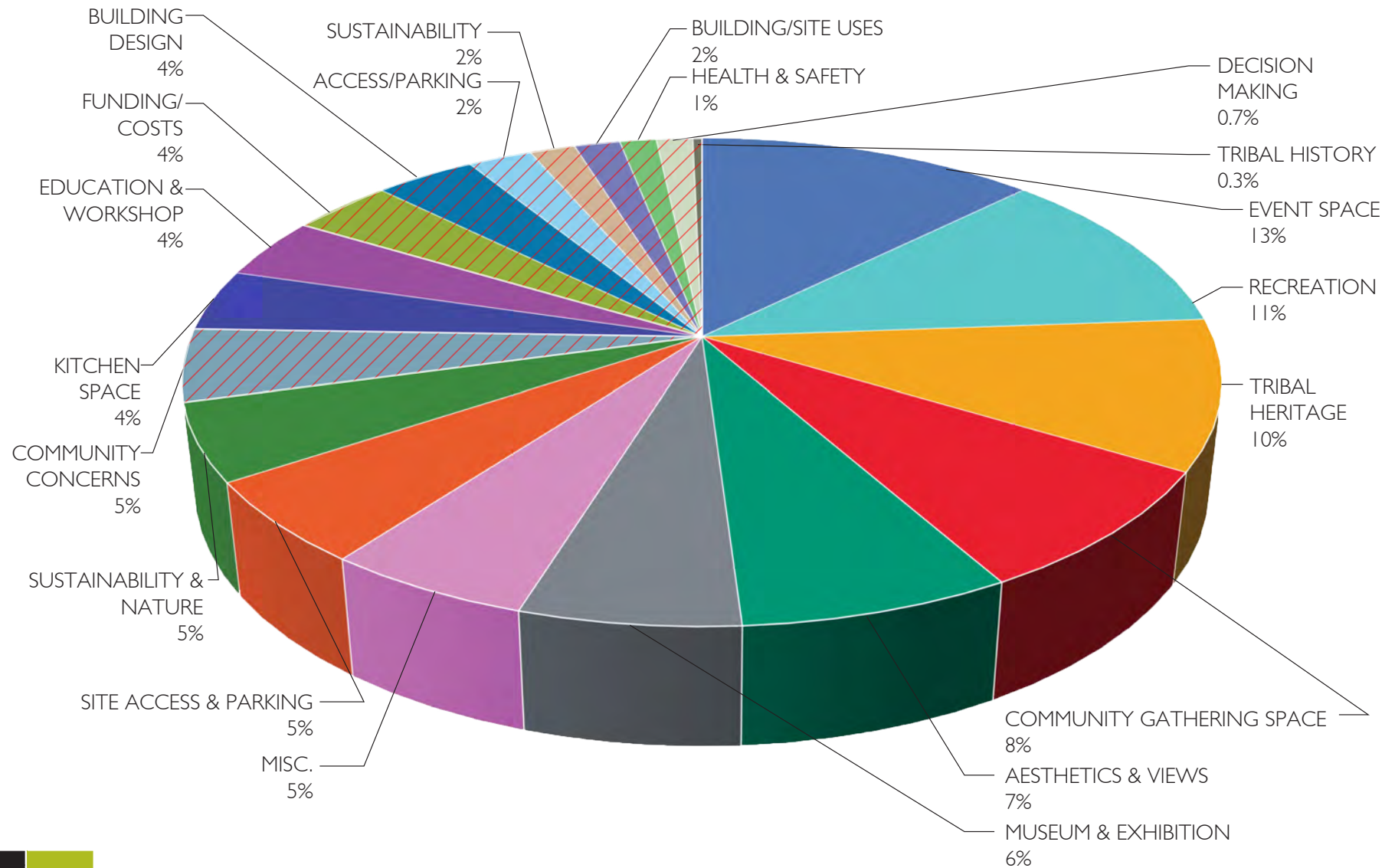


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OVERALL RESPONSES



GRAPHIC 3E: PIE CHART 'OVERALL RESPONSES'

 CONCERNS



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Meeting Notes – PD #1

Date: 04.08.2022
Time: 11am-4pm
Subject: Introduction to Tribal Members
Project Title: CBE Rejuvenation
Project No: 220039.01
Present:

NAME	COMPANY	NAME	COMPANY
Bruce St. Denis	City of C.B.	Joyce Jackson	JJLA
Rusty Barrett	City of C.B.	Daniel Touger	Sazan
Jen Barrett	City of C.B.	Todd Lawson	Clatsop Nehalem
Jennifer Beattie	CIDA	Diane Collier	Clatsop Nehalem
Kelly Douglass	CIDA	Dee Zimmerlee	Clatsop Nehalem
Mya Paluch	CIDA	Doug Deur	Clatsop Nehalem
Dustin Johnson	CIDA	Dick Basch	Clatsop Nehalem
Chris Robideau	Red Plains	Roberta Basch	Clatsop Nehalem
Gerhard Bamler	RWDI		

GENERAL:

The meeting was held as a round table discussion at City Chambers at 207 N. Spruce in Cannon Beach. It was formatted as an open conversation and as an opportunity for the Design Team to learn about the Clatsop Nehalem Tribe – Their traditions, historical use of the site, goals and aspirations for the renovation and repurposing of the existing elementary school as well as other tribal aspects of the project. The meeting was followed by a site walk and additional on-site discussions.

The meeting was opened by the City (Bruce St. Denis), with a Tribal welcome and Land Acknowledgement (Dick Basch) with a general introduction of all parties, followed by individual introductions and a Tribal prayer given by Roberta Basch.

Topic #1A- Clatsop-Nehalem's History at Necús and Other Historical Site Information

- 1A.1 The Clatsop-Nehalem's name for the site is 'Necús,' which translates to "Place where the tide gathers".
- 1A.2 Necús was a Clatsop-Nehalem village for thousands of years and served as a strategic stopping place where travelers could rest and trade.
- 1A.3 As it's name suggests, Necús was documented by the Clatsop-Nehalem Tribe as a place familiar to tsunami events.
- 1A.4 The Clatsop-Nehalem Tribe hosted Lewis and Clark when the expedition learned of a beached whale and traveled to Necús to trade for the whale's blubber and oil.
- 1A.5 After the visit by Lewis and Clark the tribe was eventually pushed out of the area by settlers and farmers who claimed the land and its resources.
- 1A.6 As described by Roberta, the Tribe by nature is better at listening, welcoming, and giving, which is in part why their rich heritage and traditions at Necús were pushed out.

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- IA.7 Not a lot of people or families from the tribe stayed in Cannon Beach. There are only a few that stayed including Dee's, Dick's and Doug's families.
- IA.8 It is very important to the Clatsop Nehalem to honor and respect the land including its flora and fauna—It is powerful and has energy.
- IA.9 It was recognized that not all the history of the Clatsop Nehalem Tribe can be conveyed in 4 hours. Additional history will be shared through email as requested and via other available resources.
- IA.10 There has been some initial surveying with ground penetrating radar to verify artifacts and other tribal features that lie beneath the soil.
- IA.11 Each long house contained approximately 20-25 people.
- IA.12 The long houses were constructed with red cedar planks. Once constructed, the long houses would remain in place for generations with individual planks replaced as needed. There exists an example of a traditional long house (constructed with wood planks) in Ridgefield, WA.
- IA.13 Doug in cooperation with Portland State University anticipates doing an additional survey to gain additional insight as to the layout and use of the village. There was discussion that the survey work may be able to be expedited to this summer (Summer 2022) and that the design team may have access to it for purposes of site layout.
- IA.14 There are possibly archeological items on-site beneath the surface which need to be preserved.
- IA.15 When inhabited by Clatsop-Nehalem, the site gently sloped towards the estuary beach. At some point sand infill was placed along this boundary which created a steeper transition to the estuary. This infill is not expected to have anything cultural in it. The infill created a disconnect with the water.
- IA.16 People would canoe north and south along the coast and would need to take a break, which would be done at the site and the Tribe would host them and bring them back to life so they could continue their journey.
- IA.17 It's a place of convergence for people and the landscape (creek, ocean and mountains)—a place that is home to existing Clatsop Nehalem Tribal Members and where they feel connected to the land and their ancestors.

Topic #IB- What are the Tribe's biggest concerns for the project?

- IB.1 That the design will be cartoonish/Disney Land-ish/Commercial—That the design should respect the nature of the site and not romanticize the Tribe's heritage and way of life.
- IB.2 That the Tribe won't feel present. If the Tribe is going to be present, then they need to be present, not superficially (they need to be engrained in the cells of the project).
- IB.3 That the user won't understand the significance of the site.
- IB.4 That in telling the story of the site too much weight will be given to Lewis and Clark's site history which was only a snapshot during the multi-millennial Clatsop-Nehalem's occupation of Necus.
- IB.5 That the site is not alive, not filled with people, laughter and exploration.
- IB.6 That either too little or too much information is shared. There is a balance between what should be shared and what should remain concealed. The Tribe wants to celebrate the site and their ancestral use of it without jeopardizing the integrity of any artifacts or geological features. There will be no security, and Necus is amongst the last Native archeological sites that hasn't been fully disturbed along the Oregon Coast.

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- IB.7 That the site won't feel like a home to everyone. Tribal and non-tribal members should have space to make the site feel like home, but there shouldn't be a conflict between the groups where it feels like a bad family gathering.
- IB.8 That the site won't remain open to the Tribe, perhaps being told they can't visit at certain times of day or certain days of the year.

Topic #IC- What are some design considerations we should be thinking about?

- IC.1 Provide craft spaces where the building's finish materials are durable and can withstand having items from outside being used or stored inside.
- IC.2 Windows/storefront facing north towards the estuary. Re-create a connection with the water.
- IC.3 See the landscape as their elders saw it. Maybe re-establish some of the native plantings used by the Tribe.
- IC.4 Incorporation of Firepits—both inside and outside. Firepits are natural areas for conversation and allows spaces to shift throughout the seasons.
- IC.5 Incorporation of an outdoor amphitheater.
- IC.6 Segregate the site to keep the energy inwards and make the site unique from its surroundings.
- IC.7 Reinforce how special the site is through landscape—look at threshold opportunities. Consider a tree grove along the site's frontage with Fir Street for visual and acoustic segregation.
- IC.8 Look at opportunities for the gym to be similar to a Longhouse—use of firepits in the center and places for people to speak/present with seating along the perimeter.
- IC.9 Plan for the future—Consider possibilities for future development of the site that may not be within the current project's budget. Red Plains to help identify federal funding opportunities.
- IC.10 A place that visitors can wander to and find themselves.
- IC.11 Respecting how the site is today as well as the history of the site—creating a balance.
- IC.12 Create a new Welcome Pole, this one facing East to welcome visitors of today. The existing Welcome Totem faces West and pays homage to historical visitors arriving by canoe.
- IC.13 Red Cedar is a common material for the Tribe. It used to be abundant, and resists rot. Cedar buildings/structures have a connection with the natural world.
- IC.14 Materials should be local while also having a long lifespan.
- IC.15 The inside of the existing gym looks like a woven basket. It is minimalist, pure, and just enough to get by—all characteristics valued by Clatsop Nehalem. The Gym building also resembles a Longhouse in its proportions.

Topic #ID- What goals does Clatsop Nehalem have for the site?







- ID.1  The tribe hopes to teach workshops at the site. Some of the workshops could include creating baskets, beading, making drums, utilizing natural materials/plants, and other traditional Tribal crafts and processes.
- ID.2 The ability to host the Salmon People annually upon return of salmon to the estuary.
- ID.3  A place to cook both inside and outside. An outside cooking area would ideally be designed around the preparation of salmon.

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- ID.4 The ability to host other canoe families and Tribes.
- ID.5  To be able to camp on site and have potlucks
- ID.6  Display of Tribal art—Not just pictures but how the Tribe sees things and the stories they experienced and passed on to subsequent generations.
- ID.7  An education center to teach the community and visitors about the Tribe.
- ID.8  A space to exhibit *Dragonfly*, an original 32' solid cedar canoe.
- ID.9  It is important that the Tribe can utilize the site to share their knowledge and culture to the community and visitors.
- ID.10 That the site remains a retreat from the bustle of downtown Cannon Beach.
- ID.11 That the site remains a place that becomes discovered by the user and not a destination portal (a place of discovery).
- ID.12  That the history of the site, including artifacts, remains protected.

Topic #IE- For the Tribe, what are the desired takeaways for the average visitor to the site?

- IE.1  An accurate account of the history of the site, not too heavily weighted towards Lewis and Clark.
- IE.2  That the Tribe is still here and has a presence in the community.
- IE.3 A place to experience nature and the world through an eye.



Topic #IF- Are there features of the site that Clatsop-Nehalem view as 'Sacred'?

- IF.1 Something sacred is something that has traveled through time or is spiritual. Much of what contains the site, including vegetation, earthen materials, the estuary, animals and people, can be considered sacred.
- IF.2 There are two mountains considered 'sacred' to Clatsop Nehalem—*Swallalahoost* (Saddle Mountain) and *Neah-Kah-Nie*.

Topic #IG-What additional accurate resources are available to the Design Team to learn further about the Clatsop-Nehalem Tribe?

- IG.1 *The Nehalem Tillamook Tales* – A book by Clara Pearson
- IG.2 Film: *A Clatsop Winter Story* – Available on-line
- IG.3 Tribal Members present are available as needed to respond to e-mail.

Topic #IH- What are some of the perceived challenges for the site?

- IH.1 Seismic and tsunami vulnerability as well as the lengthy evacuation process to high ground.
- IH.2  Parking—don't want to disturb artifacts to create a parking lot—look at natural parking lot materials. Try not to disturb previously undisturbed areas.
- IH.3  Site Access – The site is difficult to find vehicular access to. However a more direct vehicle access may not be preferred in order to help preserve the site and the concept of the site being a place for rest and where one finds themselves.



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ACTIONABLE ITEMS:

Item #	Action Item	Responsibility	Deadline
IA.10	Provide design team with existing ground penetrating radar site survey.	Doug Deur / City of CB	05/05/22
IC.8	Red Plains to vet potential sources of federal funding for the project.	Chris Robideau	TBD
N/A	Schedule follow-up meeting with the Project Team and Tribe. (Possibly on Zoom?)	CIDA	04/15/22

End of meeting notes.

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JOIN US!

AT THE CANNON BEACH COMMUNITY OUTREACH INFORMATION SESSION



Come and visualize how the NeCus site will be restored in a way that will be respectful to the Clatsop/Nehalem people and provide the opportunity to understand how they lived right there on the shore of Ecola Creek for thousands of years.



Learn how the Cannon Beach Elementary School Gymnasium and Classrooms will be remodeled into a facility capable of supporting meetings and activities for organizations of all sizes.



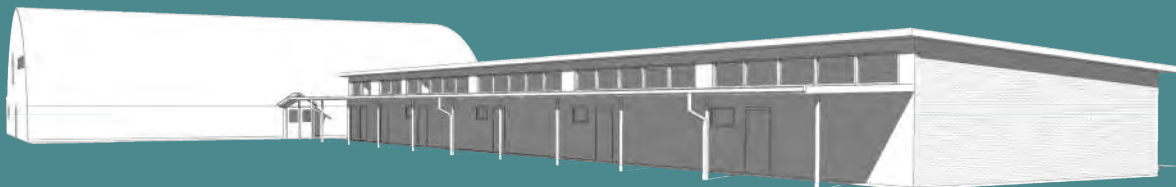
Reimagine what a second life for the Elementary School would be like in our community.



Come meet the design team and explore the site with us.



Provide feedback to help guide future improvements.



SEE YOU THERE!

**APRIL 30TH, 2022
10:00 AM - 12:00 PM
268 BEAVER ST
CANNON BEACH, OR 97110**



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Date: 04.30.2022
Time: 10am-12pm
Subject: Community Outreach Event #1 (COE#1)
Project Title: CBE Rejuvenation
Project No: 220039.01

General: This meeting was held at the site (268 Beaver St, Cannon Beach, OR 97110). The purpose of this meeting was to discuss the Cannon Beach Elementary School Rejuvenation project and get feedback from the community members. It was also an opportunity for the community to be introduced to the Design Team and the City, while being able to explore the gym and classroom buildings.

The following notes were taken by Kelly Douglass, CIDA:

Participants: **Community Member #1**  



Details:

- This community member is part of the Rocky Shore Interpretation Center
- Their organization would like a classroom space to teach about local birds and natural resources
- They would also like to have a place to display various taxidermy birds and artifacts-- have display boards with facts/information (museum space)
- The next closest similar spaces are in Astoria, which is located in a small home, or in Newport. Due to the distance to these other spaces, it would be nice to have something in town.

Participants: **Community Member #2**   

Details:

- They would like to see the gym space continue to be a place for recreation, especially in the winter when the weather is unfavorable.
- They could also see the Gym being a place for the performing arts. All different types of performing arts including, music, plays, etc.
- The classroom space would be a space for workshops including art.

Participants: **Community Member #3**  

Details:

- They were concerned that we wouldn't reach out to kids, they believe that kids are a vital part of making this project successful and feel like it's filled with life.
- They would also like us to reach out to different demographics and those who just work in cannon beach (not just those that live in Cannon Beach).
- It's important to show ALL of the history, not just the good, that way we get a wholistic understanding of what happened at the site.
- They had interest in helping with funding for the project.

Participants: **Community Member #4**   


Details:

- They are part of the Choir
 - They would like one of the classrooms to be space to practice their music before a performance, so it is close to the gym/performing space
 - The classrooms should be an educational space—a museum or spaces for workshops
-

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Participants: **Community Members #5** 

Details:

- They teach kids how to skate at the local outdoor skate park.
- They would like there to be an indoor space for skating in the winter. They are okay with it being temporary/portable (can be taken down and stored when not in use).
- They were wondering if the Tribe could make any money from the project/activities that happen at the center?

Participants: **Community Member #6**  

Details:

- They were very concerned with sustainability and wanted to make sure it would be included in the project.
- Solar panels, water collection and filtration, and EV parking were some of the sustainable ideas they brought up.
- They also believe that a shuttle service to the site could help with parking, and maybe even getting a shuttle that goes all the way to Portland and one of the stops is at the site.
- They wondered if the community gets updates on the project and how it's being designed and developed? If so, how do they get updates?

Participants: **Community Member #7**

Details:

- Was wondering about the structural design and what was being planned right away. I told them to email their questions for structural.

Participants: **Community Members #8**

Details:


- Has a similar project in Manzanita and was there to hear feedback about this project
- Wants to see what people's concerns were with this project
- Wanted to know more about budget

Participants: **Community Member #9**

Details:

- Went to school at the site back when the school was operational.
- Was in Cannon Beach for both of the Tsunami's—before there was no warning system—the first Tsunami was in the 60s and it wiped out the bridge but not the school.
- No longer lives in Cannon Beach.

The following notes were taken by Mya Paluch, CIDA:

Participants: **Community Members #10** 

Details:

- Needs to be a local's space.
- There are so many tourist places.
- They are open to volunteering for the project if would be available.
- Community is the backbone.

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Participants: **Community Members #11**

Details:

- Similar project in Manzanita, thought smaller in scale.

Participants: **Community Members #12**

Details:

- Just purchased across the street
- Family is in Arch Cape. They moved here from Portland.
- Downstairs to be retail (home décor, arts, gifts)
- Live above
- Currently doing exterior upgrades and came to compromises with the city on DR requirements

Participants: **Community Member #13**

Details:

- Bring Clatsop-Nahalem tribal motif into the design of the building (roof, ceiling, or wall treatment). They have a very unique basket weave, looks like a wave (Jenny Michell, famous weaver).

Participants: **Community Member #14**

Details:

- Resident at the north end for 2 years
- Cool building
- "screams" music/event center
- Classrooms could be art studio (artsy colony)
- Needs more parking
- Don't pander to tourism – should be for the locals that tourists could also enjoy.
- Kid's arts – bring life and light to the site.
- Highlight the Indian history
- Farmer's market – move away from the Sleepy Monk parking lot (current location)
- Gathering center
- Locals will walk

Participants: **Community Member #15**

Details:

- On planning commission
- Sweat lodge would be amazing in one of the classrooms
- Health benefits to sweat lodges

Participants: **Community Member #16**






Details:

- Sports lines on the floor
- Events – rent out to community/tourists
- Community Center
- Keep (E) rafters/murals

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Participants: **Community Member #17**     

Details:

- Owns Zena Vineyard (outside Salem)
- Lives in Cannon Beach
- Admires LEED – anytime you can do it is great
- Did commercial property management, hospitals, event centers, 15K sf space in Polk County
- Need to include a commercial kitchen & additional public restrooms
- Craft market, weddings, music center, **multipurpose**
- Address acoustics
- Gym is way cool – could us as gym functions
- Do NOT build a stage – not necessary – keep the space flexible
- Loves the classrooms – could be conferencing/break out spaces
- Assumes keeping the food pantry
- Keep lawn & parking
- Mentioned 'Hear No Evil' (acoustics vendor) & 'Breaker's Point' (indoor gym space)

The following notes were taken by Jasha Kistler, RWDI:

Participants: **Community Member #18**

Details:

- Resident of Manzanita
- Visiting to get ideas for a similar project in Manzanita.
- They have a school of similar age and construction that they would like to convert into a city building
- Curious what the budget is being used for. Interested in the how the budget is being split between the various aspects of the project.
- Another individual from Manzanita joined the conversation.

Participants: **Community Member #19**  

Details:

- Attended this elementary school.
- Loves the idea of reusing the building
- Would like to see the kids artwork displayed or incorporated into the new facility. They made this comment while looking at a paper sketch that was taped on the wall of one of the classrooms.
- They were an elementary school teacher. Not in Cannon Beach
- Would like to see the school theme and history captured in the design.

Participants: **Community Members #20**  

Details:

- Would like the project to be a place of peace. Healing Center.
- Lots of emotional trauma right now as we escape the COVID pandemic. People looking for a safe place, that is calm, and naturally revitalizing
- Looking for the project be feel more transparent and not closed off to the public. (Speaking to space planning and physical presence of being invited into the space.)
- Project to be a place of silence. Bring Peace and Joy.
- Acceptance, Belonging, Connection
- Since it's a community building and acceptance of all people no matter their current journey, it will attract the bad with the good. Some people will want to vandalize. Consider speaking to

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- City Police about how best to keep the property "Safe". Concern for crime. Maybe Motion lighting, etc. Can be a pain to resolve.
- Have heard the gym as Great Acoustics. Choirs love the space.
- During speaking events they have heard that people with hearing aids have major issues due to sound reverberation. (Bad acoustics)
- Would love to see adaptive acoustical options employed. Maybe curtains or other temporary sound deadening options to change acoustics of space.
- Space use to host fish poets and artists
- PSU use to hold a writers workshop here.
- Want to see natural light. Maybe clearstory. The episcopal church in Manzanita has windows at grade with reflecting pools to bounce light into room.
- Natural Light brings welcoming feeling. Feeling of belonging
- Suggest fragrant plantings

Participants: **Community Members #21** 


Details:

- Tribal member left and said "if there's one thing, Make sure you save the murals." In reference to murals in gym.
- They are working with their tribe on many of Casino projects. Looking at basket weave. Would like to see a basket design integrated into the roof of the gym. Make a statement.

Participants: **Community Members #22**    

Details:

- Include Firepits inside and outside. Symbolic significance. Firepits indoors could be "fake" maybe built into ground with glass covers. Doesn't need to be wood burning. This was echoed many times throughout conversation with group members.
- They mentioned Grips and Glories around fire pit to bring people together. Go around and say one Gripe for the day. Then repeat with Glory.
- Salmon Celebration held annually in Cannon Beach. Saturday before Thanksgiving. Recently hosted at Chamber Building. There is a Salmon run in the creek. Sam and have fire out by welcoming pole each year. Sometimes small gathering. Others a couple dozen.
- They would like to see gym resemble Plank House. Incorporate fire pits, Natural ventilation, darker space. Consider converting half the gym into outdoor covered space.
- They are not fan of LEED

Participants: **Community Members #23** 

Details:

- Their mother in-law used to teach at school. Has personal significance to their family
- They are very thankful we have brought the tribe into the conversation.
- Group would like to see solar on the roof to make own energy. When I asked if Tribe would have concerns, they said no. Rather the tribe are very resourceful, creative, and practical people. Would like to see panels visible on the roof.
- Consider vertical axis wind generation. Group has seen these tree shaped in Scotland that resemble trees. Watt's mother in-law used to teach at school. Has personal significance to his family
- <https://www.youtube.com/watch?v=ktl03qWaPWA>

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-
- Group is interested in sustainability but not 3rd party verification like LEED
- <https://www.youtube.com/watch?v=ktl03qVaPWA>

Participants: **Community Member #24**   

Details:

- Locals are very concerned about change to the city by government. Did not like the large 101 intersection project on north end of town. Expanded WAY outside envisioned scope by locals. They just wanted a new bridge at the intersection. This project has destroyed faith and hold lots of anxiety towards these public projects. They are hoping this project will restore the faith. Group would like to see, after this school project is completed, a pedestrian bridge project across creek to aid in Emergency preparedness. It's a short distance to high ground in that direction and current bridge is not likely to survive earthquake.
- Site should have Tsunami awareness. This is important
- Choir is important. Use to host weeklong choir and conducting/teaching event. Choirs love the gym facility.
- Tribe says "Ho" when they are at a speaking engagement and want to emphasize a point. Ho translates to "Voice" (similar to a Christian church when members say "Amen!")
- Need large spaces and small spaces. Don't want to see gym split up into small event spaces.
- Natural ventilation if possible. Gym gets hot in summer. Hard to keep warm in winter.
- Possibly ventilate using roof turbine.
- Put in Big Ass fan like in warehouses to move air. Move heat from rafters in winter and turn up speed to cool facility in summer.
- Natural light to bring feel of outside into the inside environment.
- Could the entire south wall be glass?
- Strong desire for windows
- Could we add clearstory or skylights?
- Would like a kitchen onsite. Food brings people together. Need place to prepare and serve.
- Possibly an outdoor kitchen as well, or sink/water and BBQ area.

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Participants: **Community Member #25**     

Details:


- Commercial Kitchen is a must have. Public Bathrooms are Key



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- Need to cover interior structure to promote better acoustics for events like weddings.
- No permanent Stages. There are other local facilities for those types of events.
- If we keep the gym, don't make it specific to any one sport.
- Needs natural light
- Needs to be profitable. Not a cost center for the city
- Host large and big events. Ability to schedule reoccurring weekly events.
- Multi-purpose rooms. No permanent furniture.
- Needs to keep food bank. This is an important service that is provided at this site for the community.
- Keep lawn. Important for events.
- Allow parking behind building on asphalt. Ability to close off for private events.
- Bruce was also present for this discussion.

The following notes were taken by Dustin Johnson, CIDA:

Participants: **Community Member #26** 

Details:

- Son went to school at Cannon Beach Elementary.
- Later trained as an architect.
- Goals for the project:
 - Leave murals
 - Provide a transparency with nature
 - Building needs to 'breathe'
 - Site needs to be a place of learning and reflection.
 - A place for CB residents to gather.
 - Celebrate 'what has been' while exploring 'what will be'.
- Offered an additional resource for the Design Team:
 - Peter Lindsey coming over the Rock (A Cannon Beach Folk History)

Participants: **Community Member #27**    

Details:

- Feel strongly that a Land Acknowledgment Statement should be provided by Clatsop-Nehalem Tribal Org. and displayed somewhere at the site.
- Be sensitive to the tribal heritage of the site.
- Site history and how the Clatsop-Nehalem people lived on the site should be "written on the walls"
- Would like to keep the classrooms as a place of learning.
- Would prefer Gym Building to be a place for large public gatherings.
- Maybe devote one classroom to a museum function.
- Two key takeaways for visitors:
 - Understanding of this place
 - A place for large gatherings

Participants: **Community Member #28**   

Details:

- Project goals:
 - Hopes to see Gym used as a music and art venue.
 - Increased natural ventilation (Gym).
 - Acoustics upgrade (Gym).
 - Gym Building as a space for public to gather.
 - Wants there to be a representation of the history of the site (Tribal, elementary school and Cannon Beach) – they offered Pier 49 in Astoria as a case study.
 - Wayfinding placards with historical information posted throughout town.

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- o Use estuary as a 'water resource'. They would like to see canoeing and kayaking to/from the site be available to the public.
- o Doesn't want to see too much development fearing the project will look too commercialized.
- o Supports the idea of the site being "a place to be discovered".
- o Feels that the site could use a retail component featuring Cannon Beach specific merchandise (hats, tees, hoodies, etc.)
- o Perhaps a hitching post on-site.

Participants: **Community Member #29**   

Details:

- Generally, would like to the facility to remain open to the public for a variety of uses, stating that there's not another covered structure in town where the people of Cannon Beach can gather.
- Project goals:
 - o Their priority for the Gym is to be a children's venue, offering the idea of a half pipe for skating. They feel there's nowhere for kids to go to be themselves and plan, particularly in the rainy months.
 - o Also open to the idea of an artists' venue specifically to support and represent local artists.
 - o Wants to see the site prioritized for residents, not visitors.

Participants: **Community Member #30**

Details:

- Requested to know the budget for the project and how the funds were to be divvied up between the two structures and site.
- Requested specifics in regards to the seismic enhancement portion of the project for both the Gym and Classrooms.
- We discussed methods by which the lateral force resisting systems of the Classrooms and Gym could be strengthened.

Participants: **Community Members #31**    

Details:

- Project goals :
 - o Secure and flexible – Who will be making sure the grounds aren't defaced?
 - o Hope to leave classroom spaces as learning spaces.
 - o Would like to see a museum component featuring Clatsop-Nehalem heritage and use of site as well as local flora and fauna.
 - o Would like new flooring in Gym space that would accommodate yoga and dance.



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The following notes were taken by Jennifer Beattie, CIDA:

Participants: **Community Member #32**    

Details:

- Would like 2 adjacent classrooms for interpretation center
- Nature Foundation
- Rock Shore Interpreter walk through – non-staffed with displays in wall / rocky shore / bird / watershed (and others)
- Locked exhibits eventually staffed with volunteers
- Use as a classroom space
- Site / Buildings are the first thing you see as you enter town
- Flex space / gym biggest asset dynamic / open space
- Community use of outdoor space
- Storage needed: portable chairs / tables and extra mats
- Summer camps / school years and all age free program
- Fear - 1.5 million ideas with 'too many cooks in the kitchen'
- How do you make it for everyone?

Participants: **Community Member #33**  


Details:

- Tribal artifacts could be on loan for display with an agreement
- Maybe museum incorporated – items spread throughout.
- Agreement is currently underway to return from Smithsonian
- Should the basket weave be incorporated in design (there is a specific style of the Clatsop/Nehalem tribe). Desire to keep historical design alive.
- Discussed if building should be mimicking tribe's weave or if it should be a backdrop to the landscape and artifacts.

Participants: **Community Member #34**   

Details:

- Cultural classes
- Flexibility of use in design
- Tribe should get their way
- Long history how we tie into the land
- Interpretation Center
- Simple and incredible depth
- Buildings exist but create inside / outside connection
- Possibly use tribal prayer and have that on the wall or a writing of theirs such as a philosophy

Participants: **Community Member #35** 

Details:

- Originally thought we should bulldoze the buildings.
- Believes the classroom (brick building) will require lots of restoration.
- Wants to have incremental delivery of information to the city to keep them informed.

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Participants: **Community Members #36**    

Details:

- Concern – almost no parking for crowded functions.




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- How does this project work with the tribe and the city?
- Believes this property has been in discussions for 10 years property (2-3 years engagement with the tribe)
- Need to promote engagement with all demographics
- Suggests the city mail the survey to the entire community to get broader feedback.
- Possibly add mezzanine with exhibits in 'gym' space.
- Recognize this is the furthest south that Lewis and Clark came
- Food bank – can't we demo that building and build a corner for them?
- Would like to see classroom community space
- Respectful of tribe
- Don't want to see parking constructed where the Tribe's people used to live
- Tourists draw – museum of “first people”
- Façade should fit the village
- Signage of sites significance / first site you see
- This site is as important as the rock
- Some of the community wants pickleball courts – this is not important
- Flexible event space
- Size of spaces flexible and dividable

Participants: **Community Member #37**

Details:

- Provided a letter to us previously provided to the city (signed by college).

Participants: **Community Member #38** 

Details:

- Portable tents could be used outside, inside could offer flexible spaces

Participants: **Community Member #39**  

Details:

- 1 classroom – space for movement
- Raised hard wood floor– critical – dance, ballet, tap, jazz, yoga
- Tribe / Cultural – involve tribe every step of the way – sacred, respected above all else

Participants: **Community Member #40**   

Details:

- Wine tasting events / culinary
- Wants a commercial kitchen on site. (we talked about if budget doesn't allow, considering a future desire for it)
- Big spaces / break-out spaces
- Events – bring in rent (income)
- Great site – visible entrance to community – transition to structure
- Natural landscape
- Trees and vegetation to transition from creek to structure.
- Nature trail – provides a transition
- “Doesn't need to be super beachy” represents the creative nature of the town.
- Their reservation is that they don't want big parking lot along the creek.
- Wants the look for the gym to be natural
- 25 year resident
- Increase outdoor space for community uses - more useable – not parking

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Participants: **Community Member #41**   

Details:

- Lived here since 1975
- Tribal – Indigenous heritage – respect
- Member of chorus – could practice here / concerts
- Get back Florida State program (?)
- Haystack Rock Program of Arts
- Linfield Seaside underfunded program - used to be here
- Lots of artists in town do their work here / wood working
- Tsunami concerns
- Losing our village character (residential large newer houses)
- Noted they'd like to see things open for people – the Christian city center use to let them walk, \$5 walk @ track
- Site could have a mutual relationship with hotels and pools (parking etc)
- Note discussions were often about Cannon Beach and the community not all were site specific

Participants: **Community Member #42**  

Details:

- Tolovana Hall is an event space with commercial kitchen
- It has remodeled commercial kitchen / floors – maybe don't duplicate that here.
- 6 years resident
- Space for Friends of Haystack Rock
- Place to eat lunch for field trips.

Participants: **Community Member #43**   

Details:

- Outdoor space
- Events indoor/outdoor
- Lots of intent on Parks for indoor pickleball
- Excited it's happening

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Learn how the Cannon Beach Elementary School Gymnasium and Classrooms will be remodeled into a facility capable of supporting meetings and activities for organizations of all sizes.



Reimagine what a second life for the Elementary school would be like in our community.



Come meet the design team and share your ideas with us.



Provide feedback to help guide future improvements.

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MAY 11TH, 2022 @ 6:00PM

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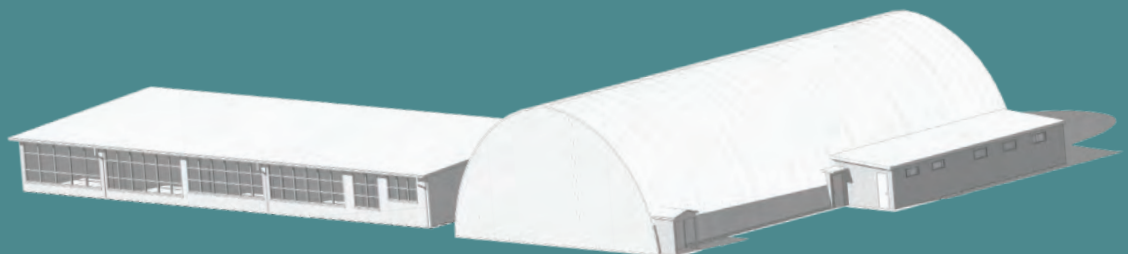
**Join Zoom Meeting:
Meeting URL: <https://zoom.us/j/99261084699?pwd=TkpbjGcxS0pCOGlMOctSbSsxVWFmZz09>
Meeting ID: 992 6108 4699
Password: 365593**

Dial By Your Location:

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+1 253 215 8782 US (Tacoma)
Meeting ID: 992 6108 4699
Password: 365593**

IN PERSON:

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Date: 05.11.2022
Time: 6-8pm
Subject: Community Outreach Event #2 (COE#2)
Project Title: CBE Rejuvenation
Project No: 220039.01

General: This meeting was held at City Hall for those who wanted to attend in person and on Zoom for those who wanted to join virtually. The purpose of this meeting was to discuss the Cannon Beach Elementary School Rejuvenation project and get feedback from the community members. It was also an opportunity for the community to be introduced to the Design Team and the City.

Participant: **Community Member #1** 
Details:

- Really enjoys the landmark monuments that are currently at the site.
- Was curious about the relationship the City and the design team had with the Tribe.
- Curious about how much the Tribe is influencing the vision for the project.
- Would really like the project to honor the Tribe and be space for the community.
- We already share the city with so many different people, but there is no place to gather and come together as a whole.
- Would like this project to be a conduit for change but still be historically rooted.
- Would like to see the site as an additional landmark, to show how the people/community are special, not just Haystack rock.
- The site can show that this is a HOME for people, not just a stop along the way.
- Some of her ideas for the space include: amphitheater, spaces to go meditate,
- Would like the project to be sustainable.
- Talked about wayfinding, and the art of discovery. Need to peak visitors interests along the way.
- Curious that the Tribe is not federally recognized if that will change the conversation.
- What is the best way to talk about culture?

Participants: **Community Member #2** 
Details:

- Curious if the plan was to keep the existing buildings.
- Would like to see that existing materials are preserved/used as much as possible and that the project is sustainable. Could possibly tie back to how the Tribe was so resourceful with the materials they had.
- Really enjoys the light in the classrooms.
- Honor the history of it being a school. It was a gathering space for many families over the years.
- Was worried that without the floor in the Gym that the acoustics would suffer. Would really like to see that the acoustics are addressed and that performances can happen in the Gym again. The time when the choir performed in the space was very special to the community members.
- Was curious if the Tribe was wanting a medicinal plant/native plant garden.
- Would like to see outdoor seating along the creek when there is nice weather.
- Would like the Salmon celebration to happen at the site.
- Would like to see the project work with local foundations.

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Participants: **Community Member #3**  



Details:

- Was concerned about acoustics in the Gym. Talked with RWDI about it at the previous Community Outreach event, and believes we are in a good position.
- Talked about how the north end of the Gym was used for a stage, but it was possibly damaged by the tsunami.
- The site allows for collaborative space, which hotels have some of, but this space will help expand that space.
- The main thing the site needs is flexibility!
- The site can also be a space where various performing arts performances can be held, allowing for expansion.
- Would like people to walk the trail and boundary of site at next Community Outreach Event.

Participants: **Community Member #4**    


Details:

- Excited for cultural and multi-use spaces.
- Pictures a beautiful structure overlooking an amazing park.
- Would like to see indoor/outdoor activities at the site.
- Believes it would be a good focal point and entrance into the town.
- Is nervous about parking and doesn't want the town to suffer and become more congested. Doesn't want the park to become a parking lot for the classrooms to look out at.
- Believes there are orientation issues with the classroom building, thinks it should move further north to accommodate parking on the south.
- Suggests parking to located off site and have visitors walk the trail to a parking location.
- While parking is an issue on the site, they want to make sure there is enough parking in general.

Participants: **Community Members #5**  

Details:

- Worried about parking, wholistically for the town. Tourists have to drive to get there, so there needs to be parking for them.
- Would like to see a commercial kitchen (or catering kitchen at minimum) so they can provide food for events.

Participants: **Community Member #6** 

Details:

- Would like to see a kitchen in the project, possibly a teaching kitchen, where people can expand on the culinary arts.
- Possibly tie the teaching kitchen in with the food bank.

Participants: **Community Member #7**  

Details:

- There needs to be accessible parking for those who need it.
- Wondering about the food bank and how it relates to the project, it took them a long time to find this location.
- If we put money towards renovating the rest of the site but not the food bank, what does that say about the project? Will it look unfinished?

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Participants: **Community Member #8**     

Details:

- Would like to address the shoreline—not sure what can and can't be done there.
- Wants a space that would serve multiple groups. It won't be occupied all the time by visitors; therefore, it also becomes a place for the community.
- An event center (for smaller groups) would attract more people to the site.
- It should be architecturally significant, not just a blank wall of shingles.
- It's a gateway, nature center, gathering space.
- Doesn't want it to just be a gallery of artifacts.
- As you walk through the site you should understand the significance of the location, no matter where you are located.

Participants: **Community Member #9**  

Details:

- Wants to know the goal for this site and whether it would be a revenue generator for The City.
- Would like to know the role of the Tribe in the project and after construction.

Participants: **Community Members #10**    

Details:

- Would like indoor/outdoor events, meeting space, community event, dinners, and concerts.
 - Believes we should redefine the outdoor space.
 - Not completely sure what opportunities are available around the creek—maybe include a dock (for canoes?)—the creek is a huge asset for the site.
 - Spaces where the community can organize their own events.
 - Biggest hurdle will be parking and incorporating/limiting everyone's ideas.
 - Look at opportunities to have non-stationary walls to provide spaces that can be more intimate and smaller to larger more open spaces. Providing a range of spaces.
-



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Learn how the Cannon Beach Elementary School Gymnasium and Classrooms could be remodeled into a facility capable of supporting meetings and activities for organizations of all sizes.



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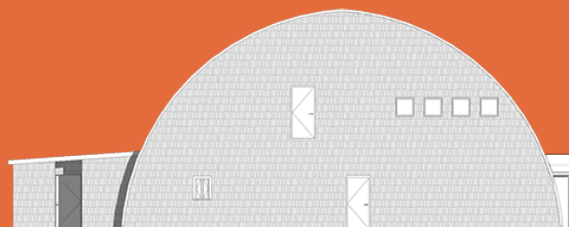


Provide feedback to help guide future improvements.

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**FRIDAY, MAY 27TH, 2022
2:00 PM-4:00 PM**

**IN PERSON
268 BEAVER ST
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Date: 05.27.2022
Time: 2-4 pm
Subject: Community Outreach Event #3 (COE#3)
Project Title: CBE Rejuvenation
Project No: 220039.01

General: This meeting was held at the site (268 Beaver St, Cannon Beach, OR 97110). The purpose of this meeting was to discuss the Cannon Beach Elementary School Rejuvenation project and get feedback from the community members. It was also an opportunity for the community to be introduced to the Design Team and the City, while being able to explore the gym and classroom buildings.

The following notes were taken by Jennifer Beattie, CIDA:

Participant: **Community Member #1**   

Details:

- Moved to Cannon Beach in 1950's
- Gym is a great place for town events to take place. Hard to come by that type of space.
- Interested an artist focus. When he moved here, there were only 3 artists in town (including him). His medium was acrylics on canvas.
- Gym only place that offers space for group events. When it closed it was a great loss but maybe town doesn't recall that now.
- It was a 'Gathering Spot'...Gathering place is necessary for a community.
- Beaux Art Ball was the first event he recalls coming to in Cannon Beach.
- When this was an active school, him and others built a 'castle' for kids to go into when they needed a respite.
- Biggest fear is that this place doesn't become a place to congregate, it would be a huge loss.
- If the exterior just remains a 'lot' for tribe, grass or empty space then gathering not achieved which would be loss.
- This project is extremely important to him.
- He could see the gym being opened to the public (during the wind or rain) and allowing people to walk inside for exercise.
- He believes if we build it – people will come.
- Gym acoustics are wonderful when music is played people will come.

Participants: **Community Member #2**     

Details:

- Parking – get a waiver from the city, don't park here.
- Provide mural or basketweave on building / roof so it is visible to passing people.
- Provide high end (state of the art) audio / visual in the classrooms with all the latest connections.
- Don't provide an open kitchen for community use, fears it wont get cleaned adequately.
- Liked the idea we discussed at COE #2 of a teaching kitchen. But how do the stoves work? I explained I have seen the individual burners and then store them away when not in use.
- The construction costs for a commercial kitchen mentioned by members of the community at COE #2 seemed ok.
- Gym is a nice big space / classrooms are good sized.

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- Have a walking path on the creek side.
- Create areas for BBQ's / outdoor cooking / outdoor amphitheater
- If parking is placed here, use pervious surface (ie blocks, that can be parked on) but have grass growing through them.

Participants: **Community Member #3** 


Details:

- The Site should acknowledge the history even if not overly 'physical' aspect.
- Doesn't need to look like the 'village' – different is good.
- He is going against what he perceives is the popular grain – he is afraid of parking, not interested in creating new parking to service this.
- Parking needs are swelling the village. New parking causes more cars to come.
- He is all for the site becoming a gathering spot.
- The town already has adequate parking, hurt his soul to have another parking lot.
- Uses: Music center, recreation center, classroom activities. He would like one classroom to be dedicated to art, with kiln etc.
- Loves to see the community art show through. Feels like this is an education center.
- Would like to keep the site open.

Participants: **Community Member #4** 

Details:

- Loves the area / loves what the tribal culture brings.
- As a visitor loves the history / historical aspects.
- Nature based.
- Loves the gym: multi-use area. Athletics / Plays / Music
- Can use all facilities year round.
- Can rent out the space for events / groups to bring events into town.

Participants: **Community Members #5** 


Details:

- It is not always easy to find info on city site, how do we get it out there?
- This is a tourist economy, we need it and cant take it away.
- Visitors – feels saturated currently / community needs to bring locals together.
- Need to integrate opportunities for visitors and community. Both groups could take advantage of art classes.
- When the school left the town lost a senses of place.
- Important to preserve history.
- Doesn't think there should be parking on this site. It has serenity here, a 'quite space' protected by the buildings.
- Spirit is alive with places to share.
- Don't create drivable area, walking and bikes need to take over instead of car.
- Connection – create ownership of visitors through pride.
- Create a different energy – build connection / appreciation / kindness...empowering.
- Possible community garden
- Fire Pit(s).

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Participants: **Community Member #6** 

Details:

- They suggested maybe the farmers market could be here. Runs Tuesday, June 15-end of September. Currently in parking lot. There is already a parking issue there so that wouldn't make this site any more challenging.
- Suggest involvement with chamber of commerce.
- Lynette – better outreach out to the Latinx population. She suggested a special effort to include them. They typically have Wednesday's off. They use the area often for soccer and picnic tables for family gatherings. The food bank is opened on Wednesdays to accommodate but notices there need to be careful about confidentiality.
- Lynette suggested Consejo Hispano / Facebook / WhatsApp – participation at the right time / right place for participation.

Participants: **Community Member #7**  

Details:

- Believes there are plenty of people, this site doesn't need parking. Only so much beach.
- Visitors – balancing of needs.
- TSP – is in the works.

The following notes were taken by Joyce Jackson, JJLA:

Participants: **Community Members #8**    


Details:

- Do not remove existing trees
- Restoration to mean remove invasive plant species and replace with location and culturally appropriate native plants.
- Do not manipulate the bank via fill or removal. "The creek is dynamic and will likely erode the bank again."
- Good references- Roberta Basch's "Cultural List of Plants" and Doug Deur's "Pacific NW Foraging"
- Dig into ground only in approved areas.
- Native planting garden is a good idea, obtain advice from Roberta.
- Enhance native planting and remove invasive plants along trail through the wooded west property line.
- Provide on outdoor event area (Amphitheater like) in the existing lawn area.
- Leave lawn area for play space, soccer practice etc.
- Existing Food bank building is very important to the community and must remain until alternative can be provided. There were a few windows on the west side of the building that could possibly become doors for pick on the west side of the building.
- Comment to consider, if more parking is provided it should be a permeable surface.
- Consider inclusion of bike parking in place of car parking.
- Consider bus trolley route in the downtown with parking out of the downtown. (Group comment.)
- Don't provide parking and require permits to drive in the area.
- No parking in back asphalt.

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Participants: **Community Member #9** 

Details:

- Not opposed to some tree removal if required for plan.
- Monument rocks could be moved.

Participants: **Community Members #10** 

Details:



- Property to the west is City property and could be incorporated into the plan for use in events like salmon celebrations.

The following notes were taken by Christopher Robideau, Red Plains:

Participants: **Community Member #11**  

Details:

- "Would it be possible to structurally fortify the classrooms building to allow for the construction of a second story? You already have the sight line elevation set by the gym building." The idea shared was to provide affordable housing to local artists or facility support staff on the second floor. "Affordable housing is a huge issue in Cannon Beach and many of the old-time local artists, the historic heart and soul of the community is being lost as they are being priced out. Well, this is a problem in many US towns I know, but here it is a big problem and no one has a plan to address it here locally."

Participants: **Community Member #12**  

Details:

- "Get rid of the food pantry. It is an eyesore and an attractant for rodent inundation given how it is currently being used/managed. That would open the sight and access more both practically and visually." They looked at the old land use layout and noted that they had a lot of really good ideas called out. They noted they recommended a different use for the food pantry area as well. "Maybe that building could be removed and then the site would be able to host a traditional long house in some form...either the classroom building could be renovated to feel more like a longhouse, or an open longhouse could be added on the site to support the tribal heritage but be useful to the community and Tribe as a covering for outdoor events."

Participants: **Community Member #13**   


Details:

- They moved to Cannon Beach from Maryland...moved to be near grandkids and family.
- They mentioned making sure that the classrooms, gym, and site are used as a community center full of youth, community, and elderly programs.
- They shared stories of the retirement community he left in Maryland...weekly and monthly programmed events and socials. Concerts, classroom game nights, arts and crafts teaching, social events, etc.
- They said physical movement classes would be important also. Requested the gym be left open for walking sessions. A place to walk out of the rain, he mentioned doing laps in the gym if it were open.

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Participants: **Community Member #14** 

Details:

- Requested that the gym area be striped to support indoor pickle ball courts (3 courts can fit into one basketball court side by side) for scheduled use.
- Asked that the some pavement remain in the back to support pickle ball courts as well.
- I spoke with her about the details of a pickle ball court, surface needs, dimensions, learned about the game form her, etc. She said she would be submitting a survey with comments, feedback, and ideas.

The following notes were taken by Dustin Johnson, CIDA:

Participants: **Community Member #15**  

Details:

- Main goal is to have a 'beautiful site' for visitors.
- Main concern is 'Parking in a park'.
- Doesn't want to see a parking lot driving into CB from Fir Street.
- Thinks that moving the existing classroom building towards Elk Creek and parking adjacent to Beaver Street (in place of existing classroom building) could be a solution.

Participants: **Community Member #16**   

Details:

- Would like to see the gym structure accommodate a minimum of 4 pickle ball courts.
- Feels that if there were more pickle ball courts available during rainy months that more residents would take up the sport.
- Pickle ball nets could be temporary/ portable.
- Stressed the importance of the existing food bank on-site and the importance of keeping it there.
- Would like to see full utilization of the site for public use, including continued Art In The Park events.

Participants: **Community Member #17**     

Details:


- Background in marketing, publishing and event promoting.
- Feels that the existing classroom structure should be removed and rebuilt further towards the estuary, making room for more parking adjacent to Beaver Street where the parking would be obscured by the Gym and new Classroom Building.
- Came with a site layout sketch and building façade design (took photos of both for our record).
- Goals for the project:
 - To develop the site in such a way as to preserve the natural setting and to respect the Clatsop-Nehalem cultural heritage.
 - For the site and building to serve as a venue for large events. He offered the example of being a central hub for the Wine Walk, music and cultural events.
 - Commercial Kitchen
 - Ample storage for portable tables and chairs.
 - Visual connection to the estuary from inside the gym building. Understands this would require removal of the mezzanine and spaces beneath it.
- Concerns:

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- That the first thing folks will see approaching the site from the north (Fir Street) is a parking lot.
- That by re-roofing the Classroom Building the city has already committed to salvaging the building in favor of a potential demo and re-build.
- That the existing framed additions at the Gym Building's east façade would remain.

Participants: **Community Member #18** 

Details:

- Artistic Director and Conductor
- His main goal for the project was to ensure the design team got the acoustics right in the Gym Building for chorus and other musical performances.
- I offered to connect him with RWDI's acoustical designer in the coming weeks as they will be on-site to conduct acoustical measurements.

Participants: **Community Member #19** 

Details:

- Has a vineyard outside of Salem that they use as a venue for weddings and other large events.
- Hoping to see the refurbished site and buildings become a venue option for large events, including events they may host.
- Inquired if the existing concrete slab in the Gym Building could be re-surfaced to be polished exposed aggregate.

Participants: **Community Member #19**  

Details:

- Would like to see continued use of the site for teaching and education purposes.
 - Inquired about fundraising opportunities.
 - Offered parking ideas, including making Beaver Street one-way with angled parking.
 - Recommended reaching out to Don Stastny for work previously done on the site.
-

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Cannon Beach Elementary Rejuvenation Project

COE #1 Survey

Name:

Date:

4/30/2022



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1. Which best describes you (Please check one)?:

- ☒ Resident
☐ Part Time Resident
☐ Visitor

2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☐ Less than a year
☐ One year or more but less than five years
☒ Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

initial draw was surfing

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☐ 1
☐ 2
☐ 3
☐ 4
☒ 5

5. Please identify your concerns for the project if any:

I want to make sure sense and feeling of what it was remains. I have two sons that both attended 1-5 grade here.

6. What do you foresee the major hurdles for the project to be?

Funding

7. What are you most excited about for this project?

For it to be a place of education and learning, as well as being a true community center

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

To support Arts, sports and culture

9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)

Murals and the welcoming man both are important me

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10. Is there a message or feeling you want the project to convey?

A Sense of Community!

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

I just want it to be open to the members of the community to use.

Please give completed survey to a Project Team representative wearing a yellow vest or e-mail to Kelly at kellyd@cidainc.com. Public input may also be provided via the project website at reimaginecbe.com.

Thank you for your participation!

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CIDA

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Cannon Beach Elementary Rejuvenation Project COE Survey

Name:

Date:



1. Which best describes you (Please check one)?:

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☐ Visitor

2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☐ Less than a year
☐ One year or more but less than five years
☒ Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

*Lots of hippies & dogs, a great big rock,
engaged population, a beachfront school*

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☒ 1
☐ 2
☐ 3
☐ 4
☐ 5

5. Please identify your concerns for the project if any:

*A beautiful school has come and gone.
No good purpose has been identified.
Cut our losses and bring in the bulldozers*

6. What do you foresee the major hurdles for the project to be?

Thousands

7. What are you most excited about for this project?

*Not excited at all. All structures should
be demolished and a coastal spruce forest
re-established*

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

Wooded, natural open space

9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)

Trees

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10. Is there a message or feeling you want the project to convey?

We embrace mother nature. Give this
land back to her

11. Do you have any questions you would like the Project Team to address? If yes,
please indicate below:

Honestly + specifically describe the actual
Challenges, expense, and future use

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Cannon Beach Elementary Rejuvenation Project COE Survey

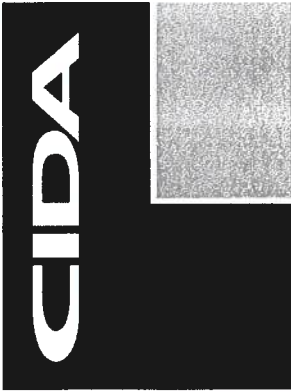
Name:

Date:



1.	Which best describes you (Please check one)?: <input checked="" type="checkbox"/> Resident <input type="checkbox"/> Part Time Resident <input type="checkbox"/> Visitor
2.	If a resident, how long have you lived in Cannon Beach (Please check one)?: <input type="checkbox"/> Less than a year <input type="checkbox"/> One year or more but less than five years <input checked="" type="checkbox"/> Five years or more
3.	What drew you to Cannon Beach and what makes Cannon Beach unique to you? <i>The natural beauty & the community.</i>
4.	How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited) <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input checked="" type="checkbox"/> 5
5.	Please identify your concerns for the project if any:
6.	What do you foresee the major hurdles for the project to be?
7.	What are you most excited about for this project? <i>A community gathering place for</i>
8.	What type of spaces or activities (indoor and outdoor) would you like to see for this project? <i>Art classes</i>
9.	Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc) <i>Murals stay with the LT theme of the school.</i>

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10. Is there a message or feeling you want the project to convey?

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

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Cannon Beach Elementary Rejuvenation Project COE #1 Survey

Name:

Date:

4/30/22



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2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☐ Less than a year
☐ One year or more but less than five years
☒ Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

family
small town experience / artistic community

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☐ 1
☐ 2
☐ 3
☐ 4
☒ 5

5. Please identify your concerns for the project if any:

Spaces won't be flexible

6. What do you foresee the major hurdles for the project to be?

7. What are you most excited about for this project?

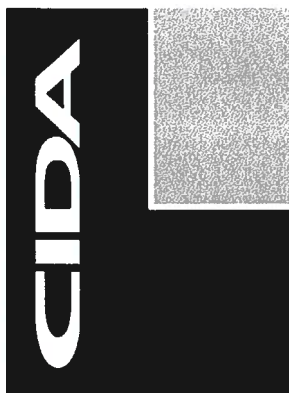
opportunity for indoor community spaces
large and small

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

some meeting spaces
maybe something with kitchen facilities

9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)

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10. Is there a message or feeling you want the project to convey?

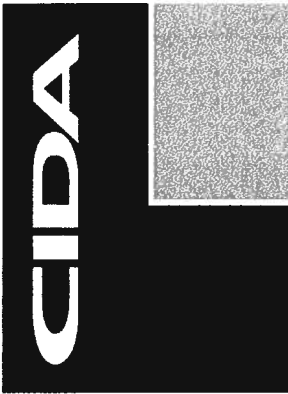
*wel coming
peaceful*

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

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Cannon Beach Elementary Rejuvenation Project COE #1 Survey

Name:

Date: 30 APR 22



1. Which best describes you (Please check one)?:

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☒ Visitor

2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☐ Less than a year
☐ One year or more but less than five years
☐ Five years or more

ARCH CAPE
4 YRS YEAR
ROUND

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

GREEN UP COMING HERE OFTEN.
THE ROCK, THE BAKERY, FUTANOS, THE
COASTER, ARTS, COTTAGE STYLE

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☐ 1
☐ 2
☐ 3
☐ 4
☒ 5

5. Please identify your concerns for the project if any:

THAT IT BE TURNED INTO
A MUSEUM ONLY.

6. What do you foresee the major hurdles for the project to be?

COST + POLITICS

7. What are you most excited about for this project?

TO SEE IT BEING USED!
(BUSY!)

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

A WORKING GYMNASIUM FOR BASKETBALL

9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)

HISTORICAL ITEMS/PHOTOS
ABOUT THE SCHOOL/THIS FOCUSED
AREA.

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10. Is there a message or feeling you want the project to convey?

WELCOME.

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

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Cannon Beach Elementary Rejuvenation Project COE Survey

Name:

Date: 4/30/22



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2.	If a resident, how long have you lived in Cannon Beach (Please check one)?: <input type="checkbox"/> Less than a year <input type="checkbox"/> One year or more but less than five years <input checked="" type="checkbox"/> Five years or more
3.	What drew you to Cannon Beach and what makes Cannon Beach unique to you? <i>Small beach town in the rain, its unique to me for its art and the local community that who all have an appreciation for nature, art and mellow lives.</i>
4.	How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited) <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input checked="" type="checkbox"/> 5
5.	Please identify your concerns for the project if any: <i>That it will be thought of in a money-making way, or tourist focused while our community really needs a place to be together and learn + try new things.</i>
6.	What do you foresee the major hurdles for the project to be? <i>Coming to an agreement between the sides of people who are interested in community and the people who are interested in business.</i>
7.	What are you most excited about for this project? <i>I would love to see a new joyful, creative and learning place for all of us here. I'm excited to have a real feeling community place.</i>
8.	What type of spaces or activities (indoor and outdoor) would you like to see for this project? <i>a skate ramp inside for when the skate park is wet. a woodshop for classes a pottery room for classes w/ kiln</i>
9.	Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc) <i>Murals by local full time resident artists.</i>



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10. Is there a message or feeling you want the project to convey?

that we value our community.

↳ I do not feel this message anywhere in town

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

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Thank you for your participation!



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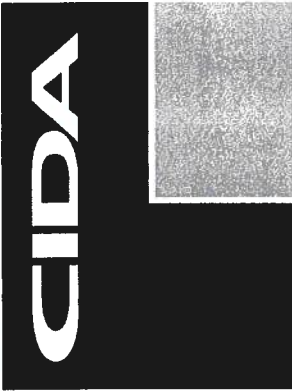
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Date: 4/30/22



1.	Which best describes you (Please check one)?: <input checked="" type="checkbox"/> Resident <input type="checkbox"/> Part Time Resident <input type="checkbox"/> Visitor
2.	If a resident, how long have you lived in Cannon Beach (Please check one)?: <input type="checkbox"/> Less than a year <input checked="" type="checkbox"/> One year or more but less than five years <input type="checkbox"/> Five years or more
3.	What drew you to Cannon Beach and what makes Cannon Beach unique to you? Natural environment, wildlife, city's commitment toward sustainability and preserving natural beauty
4.	How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited) <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input checked="" type="checkbox"/> 5
5.	Please identify your concerns for the project if any:
6.	What do you foresee the major hurdles for the project to be?
7.	What are you most excited about for this project? Sheer potential available, space being filled and utilized regularly to bring communities together
8.	What type of spaces or activities (indoor and outdoor) would you like to see for this project? Indoor - Rocky Shore Interpretive Room and Clatsop-Nehalem/News Interpretive Room gym - dynamic space for range of activities Outdoor - open field space /garden
9.	Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc) Maintaining green space outside

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10. Is there a message or feeling you want the project to convey?

Community, tribal history, and natural history

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

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Cannon Beach Elementary Rejuvenation Project COE Survey

Name

Date: 4/30/22



<p>1. Which best describes you (Please check one):</p> <p><input checked="" type="checkbox"/> Resident</p> <p><input type="checkbox"/> Part Time Resident</p> <p><input type="checkbox"/> Visitor</p>
<p>2. If a resident, how long have you lived in Cannon Beach (Please check one):</p> <p><input type="checkbox"/> Less than a year</p> <p><input checked="" type="checkbox"/> One year or more but less than five years</p> <p><input type="checkbox"/> Five years or more</p>
<p>3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?</p> <p>The rawness of the landscape, the beauty of the ocean, and the freeness out here.</p>
<p>4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)</p> <p><input type="checkbox"/> 1</p> <p><input type="checkbox"/> 2</p> <p><input type="checkbox"/> 3</p> <p><input type="checkbox"/> 4</p> <p><input checked="" type="checkbox"/> 5</p>
<p>5. Please identify your concerns for the project if any:</p> <p>A concern would be if it is used for tourism.</p>
<p>6. What do you foresee the major hurdles for the project to be?</p> <p>Getting the commercial folks and communal folks to agree.</p>
<p>7. What are you most excited about for this project?</p> <p>A communal change in CB!! connections</p>
<p>8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?</p> <p>indoor skateboarding, art classes, ocean awareness classes, etc.</p>
<p>9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)</p> <p>Murals!</p>

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10. Is there a message or feeling you want the project to convey?

Bring community together and let's get creative!! This should be fun!

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

N/A ☺ Thanks!

Please give completed survey to a Project Team representative wearing a yellow vest or e-mail to Kelly at kellyd@cidainc.com. Public input may also be provided via the project website at reimaginecbe.com.

Thank you for your participation!

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To: Info Cida <info@cidainc.com>

Subject: Cannon Beach School Redevelopment

Dear CIDA Inc:

Thanks for your presentation today at the old Cannon Beach School. This is a very important project and we need to get it right. I wanted to compose my comments via email so I had a bit more time to think about them. By the way, our excitement about this project is clearly 5+.

We are full time residents of Cannon Beach and have owned property here since 1990. Our family has had property here since 1950. We have made Cannon Beach our home because of its size, its walkability, its high degree of culture and art (especially for a town this size) and mostly because of its access to nature. We have travelled all over the world and there are few towns anywhere that have the setting and incredible natural surroundings that we have here. Let me respond to your survey in the order in which you laid it out:

A. BIGGEST CONCERNS:

1. That the design will try to be “all things to all people” instead of focusing on what is most important.
2. That the project will be “under-designed” and under-funded. This is a once in a lifetime opportunity to create a beautiful, useful, meaningful entrance to one of the most popular and beautiful towns on the west coast. We need to treat it and fund it as such.

B. MAJOR HURDLES:

1. Although public opinion is very important that should not mean that the “loudest” and most persistent voices should win out. All views need to be heard then you folks need to use your talents to inspire us as to what can be done. No one group or individuals should hold more sway than others. Ultimately your design should make us all go WOW-that’s it.
2. Funding may be a hurdle but if the design is good enough the project will happen.

C. MOST EXCITED:

1. The chance to create a beautiful, educational, useful entrance to Cannon Beach.
2. The setting is spectacular. Not only is it the original settlement area but it has great access to the creek, the sand, the ocean and the mountains. All of these need to be incorporated into the plan-not just to look at but to respectfully use.
3. The size and layout of the site lends itself to multi-use with the structures all on the south side of the property with direct access from the streets and sidewalks; while the “natural (north) side” of the property provide access to the mountains, creek and ocean. This layout is really a blessing.
4. If done properly-this site could be a landmark opportunity. We have to do it properly.

D. OUTDOOR ACTIVITIES:

1. Access to the creek, mountains and ocean via well marked but naturally constructed trails.
2. Selective clearing could be done to create “landing spots” along the creek; a trail could be built to connect to the park across the creek and up to Ecola Park Road.
3. Selective clearing could be done to open the west side to the sand, the creek and the ocean.
4. Create really nice, historically accurate day use facilities including fire/cooking pits;

covered structures, eating areas; Use designs (perhaps modified a bit) from native American Villages but make them useful. We don't need a museum-let people experience "a day in the life" of people 200 years ago.

5. Provide seasonal outdoor activities: horse back riding from next door; canoeing; kayaking; paddle boards; rafts.
6. Attract a seasonal "supply store" where visitors can purchase day camping supplies, outdoor cooking supplies, drinks, etc). Make it "fit" the environment.
7. Perhaps provide room for the Farmers Market now in mid-town. What a great spot this would be for people to "trade their goods" like they did 200 years ago.

E. INDOOR ACTIVITIES:

1. This is what makes the site so nice-the old structures can be renovated and used for community activities without negatively impacting the outdoor spaces. Possible uses: movie theater, meeting rooms, art rooms, dances, concerts. Part of the buildings should be used for modern, accessible to all rest rooms. Allow no cars to the north of the existing school buildings. All access should be from the street to the south of the school building.
2. Consider some spaces for seasonal recreational activities: "booths" for the horse rentals across the creek, bike rentals, paddle boards, canoes, kayaks, rafts; maybe even a "pay to fish" booth.

F. SPECIAL FEATURES:

1. The ENTIRE outdoor site should be SPECIAL; the ENTIRE DESIGN should be special. The design of the outdoor space should immediately tell people what Cannon Beach is all about and what this site is all about; namely-this is the spot that Lewis and Clark first descended Tillamook Head and met the Native Americans; they met to trade, to get access to the creek and the ocean, to discover one of the most beautiful sights they had ever seen.
2. Accentuate the history and the beauty but make it ACCESSIBLE; The best museums are interactive. Not just to look at and walk around in but actually use.

This project needs to be beautiful, educational but most of all usable. It needs to make a statement about Cannon beach that will last forever.

Good luck



Cannon Beach Elementary Rejuvenation Project COE Survey

Name:

Date: 4/30/22



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☐ Part Time Resident
☐ Visitor

2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☐ Less than a year
☐ One year or more but less than five years
☒ Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

NATURE, ENVIRONMENT, WALKABLE
THRIVING BUSINESSES FOR A SMALL TOWN
ARTISTIC / CREATIVE REPUTATION

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☐ 1
☐ 2
☐ 3
☐ 4
☒ 5

5. Please identify your concerns for the project if any:

DON'T WANT THE CREEKSIDE, NATURE TRAIL AND
PARK TO BE BESIDE A PARKING LOT.

6. What do you foresee the major hurdles for the project to be?

- CURRENT FOOTPRINT FORCES PARKING TO COURTYARD OR FURTHER NORTH
- MAKING EXISTING STRUCTURES ATTRACTIVE

7. What are you most excited about for this project?

- THIS IS A LEGAL PROJECT FOR CANNON BEACH, THE FIRST THING MOST VISITORS WILL SEE WHEN COMING INTO TOWN.
- EVENT SPACE IS NEEDED • MAXIMIZING PUBLIC/OUTDOOR AREA

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

FLEXIBLE EVENT SPACE FOR LARGER EVENTS AND SMALLER
EVENT/MEETING SPACE, IMPROVEMENT OF PARK &
NATURAL AREAS.

9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)

- IMPROVING THE CREEKSIDE PARK AND NATURAL AREA.
- HONOR HISTORICAL SITE RELATED TO NATIVE PEOPLES
- ART & ARTISTIC DETAILS (NOT CHILDREN'S MURALS)



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10. Is there a message or feeling you want the project to convey?

SITE SHOULD PROVIDE A TRANSITION FROM CREEK/NATURAL
AREA TO THE TOWN AND BE A WORTHY FOCAL POINT
TO THE ENTRANCE OF TOWN. SHOULD BE CREATIVE/ARTISTIC,
NOT BE FORCED INTO A "BEACH TOWN" FORMULA.

11. Do you have any questions you would like the Project Team to address? If yes,
please indicate below:

IS IT POSSIBLE TO CREATE PARKING SOUTH OF THE PROPERTY
(REMOVING SCHOOLROOMS) AND BUILT A SIMILAR STRUCTURE
NORTH TO PRESERVE NATURAL AREA ALONG THE CREEK?

Please give completed survey to a Project Team representative wearing a yellow vest or e-mail to Kelly at kellyd@cidainc.com. Public input may also be provided via the project website at reimaginecbe.com.

Thank you for your participation!

ARCHITECTURE
ENGINEERING
PLANNING
INTERIORS



Subject: Cannon Beach Elementary Rejuvenation Survey

I've attached a pdf of my responses to your survey regarding the Cannon Beach Elementary Rejuvenation Project.

I see the big picture of this project as both providing a much improved focal point for the entrance to Cannon Beach while providing the community a much needed space for events, festivals, concerts, educational programs and meetings.

I think that both the opportunity and the challenge of this project is the current configuration of the buildings. Retaining the current footprint of the buildings seems like it will require parking to the north, so instead of a facility that looks north to a park and the creekside, it will look north to a parking lot. If the current classroom wing was relocated to the north side of the gymnasium building, parking could be streetside rather than encroaching on the park and creekside trail. This would allow views from the facility and covered outdoor areas to the north to take advantage of the park and creekside views. I hope that is a possibility for this project since this has the potential for a legacy project for the future of Cannon Beach.

I hope enhancing the natural setting of creekside park and the public space it provides can be a top priority.

I think public comment to the City for this project is skewed in regards to potential uses, including pickleball being the top priority. Our tennis courts are striped for pickleball and I have seen them used rarely. There is a serious lack of indoor event facilities in Cannon Beach, a problem for most existing events. The gymnasium seems like the bones of a rejuvenated multi-use event facility that could be used for festivals, performances or concerts. A professional catering kitchen is a must and could double for cooking demonstrations, classes or hospitality workforce training.

By law, since dedicated tourism funds are being used for this project, the primary intent must be to create a tourism-related facility, not a community recreational facility, though creating a space that local residents can use and enjoy is also important.

I like the inclusion of displays and interpretive information regarding historical indigenous cultures and I see this throughout the facility and grounds rather than a single devoted space. Perhaps this will be the NeCus Cultural and Event Center.

I will be interested to see concepts that both take advantage of the structure of the gymnasium and transform its look architecturally to not look so military or blimp hangar like.

As a 25-year resident of Cannon Beach and creator of the annual Savor Cannon Beach Wine & Culinary Festival, I look forward to seeing this project move forward.

You're welcome. I'm anxious to follow the project.

I am concerned that money has already been spent to reroof the classroom portion when it makes no sense to save it there. I would love to see a two story "classroom" annex further north where a mezzanine level could feature displays of indigenous artifacts while looking down on that historical site (rather than a parking lot). I sure hope that's possible.

Let me know if I can do anything else. In addition to being a 25 year resident and frequent user of the park, I am on the board of the Oregon Coast Visitors Association and have served as Travel Oregon's Oregon Coast expert. I will likely be on the ballot for a City Council position this November.

CANNON BEACH ELEMENTARY REJUVENATION PROJECT

COE SURVEY



Date: May 4, 2022

<p>1. Which best describes you.</p> <ul style="list-style-type: none"> Resident
<p>2. If a resident, how long have you lived in Cannon beach</p> <ul style="list-style-type: none"> Five years or more
<p>3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?</p> <ul style="list-style-type: none"> We originally came for the natural beauty of the coast and the quaint village feel. Now that we've been here a while
<p>4. How excited are you to see the Cannon Beach Elementary School and site revitalized?</p> <ul style="list-style-type: none"> Very, I'd say 8 out of 10. This could be a great addition to the community by building stronger ties within the community today while giving due recognition to the tribes and explorers who came before.
<p>5. Please identify your concerns for the project</p> <ul style="list-style-type: none"> Cannon Beach residents are a very diverse group. Individuals range from far left to far right and it's difficult to get consensus, its often hard to get everyone to even participate in the discussion! I'm confident that the CBE Rejuvenation will happen – I just hope that our community will come together behind the project.
<p>6. What do you foresee the major hurdles for the project to be?</p> <ul style="list-style-type: none"> Getting a clear understanding of the community's desires for this space. Trying to be all things for all people. This is a very likely problem if we can't agree on what the purpose of the CBE is going to be.
<p>7. What are you most excited about for this project?</p> <ul style="list-style-type: none"> I believe this facility could become a point of pride for the Cannon Beach community. For too long, we've been content to talk about wants and needs but never really doing anything. We just kick the can down the road.
<p>8. What type of spaces (indoor and outdoor) would you like to see for this project?</p> <ul style="list-style-type: none"> We need spaces that can accommodate formal and informal gatherings from small groups up to town hall meetings. Plenty of seating available. Spaces should be flexible offering a variety of lighting, audio-visual, electrical outlets, movable partitions, easy to clean flooring. Outdoor spaces appropriate for street fairs, farmers market, pop-up booths. Might have to deal with inclement weather?

<p>9. Are there any special features that are important to you?</p> <ul style="list-style-type: none"> • Appropriate choices of architectural features, textures and materials to fit into the Pacific Northwest Coastal village “feel” this community desires. • Acknowledgement of the Clatsop-Nehalem ties to this location and accommodation for future tribal involvement in the future. • I’d like to see the Necus village site (Cannon Beach Elementary) be added as a stop on the Lewis and Clark National Historic Trail displaying historical information on the village history and the visit by William Clark. • Energy efficiency and minimum environmental impact just makes sense. These kinds of design choices will resonate favorably with the Cannon Beach community.
<p>10. Is there a message or feeling you want the project to convey?</p> <ul style="list-style-type: none"> • Cannon Beach, a vibrant coastal village, comfortable in it’s own skin, proud of its past and confidently moving into the future.
<p>11. Do you have any questions you would like the Project Team to address?</p> <ul style="list-style-type: none"> • Please continue the open dialog you’ve begun the city, the Clatsop-Nehalem Tribe and with this community. I think it’s incredibly important to make everyone feel appreciated and that they’ve been heard as this project unfolds.



Subject: Cannon Beach Rejuvenation Project

Responding to the COE#1 Survey

Sent from my iPhone

1. Resident
2. Five years or more
3. Small community with easy access to grocery store, post office, library & beach
4. Very excited for project
5. Serves community needs
6. Agreement on purpose
7. A gather spot for community events, classes, activities
8. Classes, speakers, celebrations
- 9,
10. Open to all



Sent: Monday, May 2, 2022 9:39 PM

To: Kelly Douglass <kellyd@cidainc.com>

Subject: Cannon Beach Elementary Rejuvenation Project COE Survey

My name is _____ and we have been part time residents for the last 11 years. Being from Texas we really enjoyed the mountains and trees and the weather. CB was an easy place to get become a part of and make friends. There is a multitude of opportunities to volunteer to help each other or the environment. It's walkability is the biggest plus as you always see people and visit — which doesn't happen often in car centric locations.

I think bring the Elementary School back to service could help reunite the village after the last few hard years of COVID and political debate. My major concern for the project is respecting its history and watching the budget. Either one could blow up easily. The ability to find funding without raising taxes is critical as some people believe this is a boondoggle. Most that live here are rather worn out from the high prices and over crowding that was intensified the last 2 years. Our village seems to cater to the visitor and this project should cater to the locals needs.

I think that we have a very special opportunity to emphasis the lives of the Native peoples. This place and what we are learning about it doesn't exist anywhere close to us.

Lewis and Clark have gotten all the glory. Appreciating and respecting the lives lived before now is of paramount importance — both from respect and from the ability to educate and expose new people to the Ne Cus. And of course that one more thing to come to draw visitors.

I believe the gym should be a community gathering area. I HATE PICKLEBALL by the way. Using it as a venue for the town first and then if space allows opening it to other public uses ie weddings, reunions etc. I would like the acoustics to be restored as music is always enjoyed by this community and it would benefit whatever speakers might use it. Having a kitchen could be important - perhaps for cooking but at least for warming dishes or keeping the drinks ready to serve.

Outside I think thought should be put toward a walking path with more information about Ne Cus and its history. Somewhere we need to incorporate a museum space for them. It may be the end of the gym, an independent building or in one of the classrooms. I do not believe this sight should be for overflow parking especially on the grass. The tribe has taken a good first step with the welcoming man and with the stone story boards. I think the murals in the gym-while not to all tastes - represent another era that should be preserved somehow.

One of the room should be a room open to the public groups to use for a meeting area — social clubs, AA meeting, basket weaving clubs. If the Charter School does need to expand into Tolovana Hall the activities held there could be moved to a Classroom at the school. Tolovana Hall has a full kitchen, bathrooms and meeting space that isn't much bigger if at all than one of the classrooms. Possibly some organizations like HRAP would want space to operate from and possibly reduce the size needed for the new City Hall. A meeting room for classes would be good since currently the City Hall Chambers are used for every meeting needing space. Also we currently have Farmers' Market in the Mid Town parking lot by the Chambers and it could move here. I don't know if it is possible to relocate the food bank if they wanted a classroom. I just think the building should be used a lot not just occasionally.

All in all I want the facility to retain the memory of the past in that it was the gathering spot for so many people. And that includes the Native Tribes as well as the just plain old folks that are still here in town. It would be good for it to be a living place again instead of the eyesore it has been.

Please put on your thinking caps and work hard to make something wonderful happen. And don't forget the Advil when you come to deal with the city and citizens as we try to help you out and slowly drive you crazy. Thanks for listening!



Sent: Thursday, May 19, 2022 8:47 AM
 To: Kelly Douglass <kellyd@cidainc.com>
 Subject: Re: Cannon Beach grade school questionnaire

Sent from my iPhone

> On May 19, 2022, at 8:33 AM, Kelly Douglass <kellyd@cidainc.com> wrote:
 >

> Below is the questionnaire. Just reply to this email and fill out by just typing below the question. Let me know if that works for you.

>

> Thanks,

> Kelly

>

> Cannon Beach Elementary Rejuvenation Project Survey

>

> Name: _____

> Ayres _____

> Date _____ 5/19/22

> _____

>

> 1. Which best describes you (Please check one)? XResident Part Time Resident Visitor

>

> 2. If you are a resident, how long have you lived in Cannon Beach (Please check one)?:

> Less than a year One year or more but less than five years XFive years or more

>

> 3. What drew you to Cannon Beach and what makes Cannon Beach unique to you? My family has been here since 1945, and although I was raised in Portland, I spent lots of my childhood here. I moved her full-time right after I graduated from college. I would say the natural world is the top draw for me.

>

> 4. How excited are you to see the Cannon Beach Elementary School and site revitalized

> (1 being not excited and 5 being very excited) 1 2 3 4 X5

>

> 5. Please identify your concerns for the project if any: I understand that there has to be a focus on tourism for some of the grant funding, but I really hope it becomes a community center.

>

> 6. What do you foresee the major hurdles for the project to be? This is probably not a major hurdle, but there seems to be some grousing in the community about tax money being spent on it.

>

> 7. What are you most excited about for this project? I'm really looking forward to events that will be held there,

and having it as a gathering place.

>

>

> 8. What type of spaces or activities (indoor and outdoor) would you like to see for this project? I would like to see the gym used as an indoor recreation place for families, especially during the rainy winter months. I hope there's a good kitchen in there, a place for all kinds of community gatherings, meetings, community potlucks, etc. The old classrooms could be used as classrooms, the summer children's art camp, really, the sky is the limit!

>

>

> 9. Are there any special features that are important to you? (ex.

> Murals, Welcoming Man, etc) I really hope that original mural painted by the children of Cannon Beach, funded with an Oregon arts grant, can be saved.

>

> 10. Is there a message or feeling you want the project to convey

I would like to see an emphasis on the indigenous people whose land this once was, I'd like them to be fully represented somehow besides just welcoming man. I would like an over arching message of respect for the natural world, and our need to take care of it.

>

>

> 11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

I'm sorry I haven't been able to come to any of the presentations, there's always something that prevents me from getting there. I'm very interested in and supportive of this project. Many of my childhood friends went to school there, as did my daughter and my granddaughter. I am really very pleased that it now belongs to the City of Cannon Beach, and that the majority of the people who have participated want to see it really fixed up.

>

> Please give a completed survey to a Project Team representative wearing a yellow vest or email to Kelly at kellyd@cidainc.com.

> Public input may also be provided via the project website at reimaginecbe.com. Thank you for your participation!

>

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Cannon Beach Elementary Rejuvenation Project Survey



Name:

Date: May 19, 2022

1. Which best describes you (Please check one)?: **Resident** Part Time
 Resident Visitor

2. If you are a resident, how long have you lived in Cannon Beach (Please check one)?:

Less than a year **One year or more but less than five years** Five
 years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you? **The preservation of land and sea (transitional beauty) – this is changing for the worse over time.**

4. How excited are you to see the Cannon Beach Elementary School and site revitalized

(1 being not excited and 5 being very excited) 1 2 3 4 **5**

5. Please identify your concerns for the project if any: **As in any project of**

such undertaking, there will be disruption to commerce and to a lesser extent, the community. However, access to education continues to be paramount. In the long haul, renovation is the desired course of action.

6. What do you foresee the major hurdles for the project to be? **Project oversight & managements, i.e., establishing all proper permits. Site supervision and subcontractor oversight to help ensure projects remains within budget and on schedule – with the ability to deal with structural surprises while providing action plans to deal with any structural/permit issues.**

7. What are you most excited about for this project? **Should this project come to fruition, we appear to not underestimate the importance of education for our children that is accessible while providing competent training and education.**

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project? **Physical Education is often compromised, however, we cannot stress enough the importance of wellness, teamwork and health initiatives combined with all other scholastic activities.**

9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc) **The overall theme should emphasize keeping the school and surroundings clean. There should be anti-littering signs (via positive initiatives) that hopefully extend beyond school borders and into the community (beaches). The elk are welcome. Humans and nature must continue to coexist. The school's theme should emphasize this.**

10. Is there a message or feeling you want the project to convey: **Education, combined with respect of nature and science - can coexist. Wellness, both physical and mental creates a positive vibe and impact to the community.**

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below: **What is the timeline? When would work**

start? When would it be completed? What is the anticipated date for school doors to open?

Please give a completed survey to a Project Team representative wearing a yellow vest or email to Kelly at kellyd@cidainc.com.

Public input may also be provided via the project website at reimaginecbe.com. Thank you for your participation!

Please return by email to

Kelly Douglass
<kellyd@cidainc.com>

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Cannon Beach Elementary Rejuvenation Project Survey



Name:

Date May 19, 2022

1. Which best describes you (Please check one)?:

I am a Resident Part Time Resident Visitor

2. If you are a resident, how long have you lived in Cannon Beach (Please check one)?:

Less than a year One year or more but less than five years Five years or more
for six years

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

the sea, forest and the once village atmosphere and community!

4. How excited are you to see the Cannon Beach Elementary School and site

revitalized

(1 being not excited and 5 being very excited) 1 2 3 4 5_

I am a 10 for the many opportunities that will be afforded to the community and visitors...art, music, environment displays and very important the Lewis and Clark information and the indiginous information of the people who have lived here for how long....

5. Please identify your concerns for the project if any:

that it will turn out to be a for profit business oriented take over and the intent and purpose and history of this place will be left in the dust, as is happening throughout Cannon Beach. It should be a place to gather, kids to play, ping-pong, netball played in the rainy months...even a BINGO night for families of visitors and residents...and a game room next to an art room where bridge, cribbage, poker, chess groups may meet or be taught these games. ALSO - GREEN BUILDING WILL NOT HAPPEN...SOLAR, LOW WATER USE PRODUCTS, WEATHER CONTAINMENT WINDOWS TO SHOW WE LOVE OUR ENVIRONMENT IN THIS PLACE AND WE A ECOLOGICALLY PROVING IT WITH OUR BUILDING MATERIALS I AM VERY AFRAID THIS WILL BE IGNORED IN SHORTSIGHTED COST SAVINGS !

6. What do you foresee the major hurdles for the project to be?

My hope the community will come together on the green building and write in the facility use plan that the highest and best use is for the arts, educational opportunities, a place for businesses and nonprofits to rent during the shoulder seasons for conferences and kids can shoot hoops in the rainy months....weddings, and all type of celebrations...and NOT A PARKING AREA TO BRING MORE DAY TRIPPERS, BUT A COMMUNITY AND VISITOR GATHERING PLACE FOR A WIDE RANGE OF EXPERIENCES AND THEN A WALK TO THE SAND AND THE OCEAN.

7. What are you most excited about for this project?

The opportunity to see the many ways that this historic place (the Quonset Hut has already been tsunami tested - 1964 tsunami) may be morphed to use for pursuits for all arts, gatherings for celebrations and a place to explore the history of the area. The chance to show the environmental wonders by our many

volunteer groups that enhance saving what is becoming challenged and endangered, (Puffins, Oystercatchers, Snowy Plovers) and teach.

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

**one room for games (bridge, chess-chess classes and all types of board, card games by reservation or posted days and times) -- *one room for arts - a pottery wheel, a place to create, a press ---*one room dedicated to the wonderful volunteer environmental groups the town can boast of with static displays and each mon a different group gets a special place and holds visiting hours to speak to visitors from our town and elsewhere- place to be informed and perhaps sign up to volunteer! *one room to be scheduled to have smaller group meetings by clubs, groups from here or visiting - with a coffee machine.*

9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)

Yes - replicate the murals that are part of the history and of course Welcoming Man and I hope a permanent canoe in place and a native garden plot and signage from the Lewis & Clark on the history that this was the place most south the Lewis and Clark exploration came...for the dead whale blubber so they could make oil for lanterns...so much to show and tell.

10. Is there a message or feeling you want the project to convey

Build Green to show our coastal towns efforts to protect and preserve. That the end results of each of the spaces will enhance the need for all peoples to understand more about the environment that is critical for our area and the planet, the arts, bring back play place, (netball - ping-pong- Bingo night type of old fashioned but nostalgic ways for a wide range of families and all ages to gather and a place to history...a true Gathering Place.

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below: *See above and thank you for your outreach. I hope that the voices of residents are more than heard and discard to a file, but in some por[ortion implemented to serve the spectrum of residents along with visitors in a non-commercial way*



Cc: Kelly Douglass <kellyd@cidainc.com>

Subject: Re: Cannon Beach Elementary Rejuvenation Project Survey

5/19/22

- 1) Part Time Resident
- 2) 5 or more years
- 3) beach and forest
- 4) five!!!!
- 5) think about rainy day usages - indoor pickle ball
- 6) keeping somewhat the unique design elements of the original building
- 7) since we have a child - a place for families to go to and play!
- 8) pickleball - the fastest growing sport in the country
- 9) Murals will be nice - anything involving native culture and native wildlife
- 10) not sure I understand but perhaps leave wiggle room for future modifications. Maybe even include a "theme" area, where it changes like a theatre set?

Don't forget to solicit CB's community artists - so many talents out there to contribute.

Thank you for asking me to do this Lolly and Kelly

Sent: Thursday, May 19, 2022 12:26 PM

To: Kelly Douglass <kellyd@cidainc.com>

Subject: Cannon Beach Elementary Rejuvenation Project Survey

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Cannon Beach Elementary Rejuvenation Project Survey



Name: _____

Date 05/19/22 _____

1. Which best describes you (Please check one)?: Resident Part Time
 Resident Visitor

2. If you are a resident, how long have you lived in Cannon Beach (Please check one)?:

Less than a year One year or more but less than five years Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you? I have family in this area – my aunt owns the White Bird Gallery and my uncle has worked at the driftwood restaurant for 10+ years

☐ **4. How excited are you to see the Cannon Beach Elementary School and site revitalized**

(1 being not excited and 5 being very excited) 1 2 3 4 5

5. Please identify your concerns for the project if any:

I hope they keep it cute and charming – I like the old buildings in town. I am a big fan of keeping the town quaint.

6. What do you foresee the major hurdles for the project to be?

Funding the renovation and removing the Asbestos.

7. What are you most excited about for this project?

That the building will be functional again and add to the culture of the community.

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

I would love to have at least one classroom dedicated to art making – possibly a clay studio with a kiln or open studio space for painting. This would be great for workshops and for local artists to have a space to work. The Cannon Beach Arts Association would volunteer time to manage the space and run the schedule.

It would be great if the gym could be a space for indoor walking and music during the wintertime. The city might be able to generate income by renting it out for weddings etc.. This would fit the tourism grant funding but also allow the locals to have more events in the off season.

Dedicate a space to the indigenous community as a space to gather and celebrate their heritage.

9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)

Keep the kid's mural – locals in town will be sad to see that go. Do not make it look like a yuppie, contemporary building – we think that looks lame.

I assume your art consultant will think putting a large abstract sculpture or some dumb art will express to the public we are an advanced society of intellectuals. It is overdone and boring.

If you do anything - do something for the indigenous community. Us old white people are sick of ourselves.

10. Is there a message or feeling you want the project to convey

It would be great to convey to the locals that the city is putting full time residents first.

I get that funding is tied into tourism but there is no reason we can't have both.

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

Please give a completed survey to a Project Team representative wearing a yellow vest or email to Kelly at kellyd@cidainc.com. Public input may also be provided via the project website at reimaginecbe.com. Thank you for your participation!

--

There is no greater joy than to have an endlessly changing horizon, for each day to have a new and different sun. - Chris McCandless

Please return by email to

Kelly Douglass
<kellyd@cidainc.com>

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Cannon Beach Elementary Rejuvenation Project Survey



Name: _____

Date__5.19.22____

1. Which best describes you (Please check one)?: **Resident** Part Time

Resident Visitor

2. If you are a resident, how long have you lived in Cannon Beach (Please check

one)?:

Less than a year **One year or more but less than five years** Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

Proximity of forest and sea, playgrounds, safe, quiet, music and art events

4. How excited are you to see the Cannon Beach Elementary School and site revitalized

(1 being not excited and 5 being very excited) 1 2 3 4 **5**

5. Please identify your concerns for the project if any:

6. What do you foresee the major hurdles for the project to be?

7. What are you most excited about for this project?

Recognition of regional tribes and community involvement and engagement with the location

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

music, art events and gatherings

9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)

Murals and welcoming man

10. Is there a message or feeling you want the project to convey regional tribal presence and space for local community

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

Please give a completed survey to a Project Team representative wearing a yellow vest or email to Kelly at kellyd@cidainc.com.

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Cannon Beach Elementary Rejuvenation Project Survey

Name:

Date: 5/11/22



1. Which best describes you (Please check one)?:

- ☒ Resident
☐ Part Time Resident
☐ Visitor

2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☐ Less than a year
☐ One year or more but less than five years
☒ Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

The beauty, the ocean, the small village atmosphere.

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☐ 1
☐ 2
☐ 3
☐ 4
☒ 5

5. Please identify your concerns for the project if any:

As a city councilor, I'm concerned that this will be a place to draw visitors because the project is being financed by lodging taxes, which are severely restricted in the way they can be spent.

6. What do you foresee the major hurdles for the project to be?

Budget, design concept. Once the design is approved, I doubt there will be too many obstacles.

7. What are you most excited about for this project?

Just to see the building revived and people using it.

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

Display spaces, meeting rooms, area for medium to large gatherings for programs, concerts, potlucks.

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<p>9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)</p> <p><i>The food bank should stay.</i></p>
<p>10. Is there a message or feeling you want the project to convey?</p> <p><i>That it is a welcoming place for all.</i></p>
<p>11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:</p> <p><i>Concerned about nearby parking.</i></p>

Please give completed survey to a Project Team representative wearing a yellow vest or e-mail to Kelly at kellyd@cidainc.com. Public input may also be provided via the project website at reimaginecbe.com.

Thank you for your participation!



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Cannon Beach Elementary Rejuvenation Project Survey

Name:

Date: 3/11/22



1. Which best describes you (Please check one)?:

- ☒ Resident
☐ Part Time Resident
☐ Visitor

2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☐ Less than a year
☐ One year or more but less than five years
☒ Five years or more **FIFTY +**

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you? **A '56 VOLKSWAGON MICRO BUS**

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☐ 1
☐ 2
☐ 3
☐ 4
☒ 5

5. Please identify your concerns for the project if any:

OVERKILL !!
INFLEXIBILITY - SPECIFICITY

6. What do you foresee the major hurdles for the project to be?

SAFETY (TSUNAMI LOCATION)
PARKING

7. What are you most excited about for this project?

COMMUNITY ENERGY
Focus For ACTIVITIES

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

LAST COUNT I HAD MORE THAN FIFTY

CIDA

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9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)

THE OLD HAND WASHING BASIN IN THE RESTROOM

10. Is there a message or feeling you want the project to convey?

LOCATION LOCATION LOCATION

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

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Thank you for your participation!

8. - RESTROOMS WHERE THEY ARE - MUCH IMPROVED - SERVE THE WHOLE FACILITY
- CLASSROOM TEACHING KITCHEN WHICH MAY ALSO BE THE FACILITY CATERING/KITCHEN - ALSO AS A COMMUNITY CANNING KITCHEN
 - ART ROOM - FOR CRAFT ACTIVITIES EXPECTING TO BE MESSY AND ROUGHLY USED
 - SPACES THAT MAY EVOLVE - FLEXIBILITY IN EVERY ASPECT
 - FOOTBRIDGE OVER TO LIES SHIRLEY PARK

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Sent: Sunday, May 29, 2022 4:02 PM

To: Kelly Douglass <kellyd@cidainc.com>

Subject: Protect our Traditions and our Economy. A local perspective. Cannon Beach
resident 30 years. 35 years in business

what draws us to a community is beauty and sustainability. Being able to make a living , protecting and preservation of the natural world that defines our home.

Concerned about the school serving and supporting our community . The school was a cornerstone of economy and community.

Falling in love and devoting ones self through livelihood and community involvement makes one very passionate about their home.

That the building comes back as the community center it was is of great importance.

Clear communication and transparency with the community is a priority .

Protect our Traditions and our Economy. A local perspective.
resident 30 years. 35 years in business

Cannon Beach

. Protect our Traditions & The Economy of Cannon Beach

Cannon Beach is built on many fine traditions including for decades the tradition of taking Art Classes at the Old School as you enter Cannon Beach on the North end.

This brought artists and students from far and wide. This would be a fine tradition to bring back to the building when it gets rebuilt.

The tradition of top music events and concerts were performed at the school to the delight of locals and visitors

This served our community and tourism very well. Meetings and conferences were held there as well bringing money to hotels and restaurants off season & new tourists. Something like two thirds of all artworks are purchased on vacation as visitors have time and relaxation to enjoy and discover.

Cannon Beach is built on tradition. Named one of the most beautiful places on Earth by National Geographic.

Cannon Beach is the "Best Place on the West Coast to see Tufted Puffins from June to September.

The gifts we treasure are the very reasons why tourists have loved coming here for generations. It is exciting to have Georgia Gerber's Tufted Puffins on permanent display when they are in fact our City Mascot.

Featuring American Masters for 50 years as a community has been a way to share community and a souvenir from that community. We have many shared memories with clients from around the country .

Cannon Beach has been named "One of the Top 30 Coastal Arts Towns Internationally". US news & World Report

Sharing the authentic works of Regional Masters is a gift that sustains what we love about visiting and living here.

The Old School supported the arts and served as the ideal tourist vehicle. Tourists who came for Choral events were respectful and delighted by the natural world. This is what National Geographic calls Geo Tourism . Please protect the great treasure that is our community.

The Choral Groups and Art Classes brought respectful tourists to our community. This is the tradition of our town and most importantly its economy ..

A respected arts community with a good music system can host anything we want. We had at one time had great musicians

even the Shakespearean Festival was interested in coming here. Want your hotels full year

round. Support your community
and enjoy year round tourism. It is what sustains our economy

Thanks. Its our 35th anniversary today.

Over the years of attending Travel Promotion events and meetings. Travel industry
professionals stated that we were the envy
of the Travel Industry because we had it all.

Please build on this tradition and maintain our healthy economy through preservation and
supporting our existing brand.



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Cannon Beach Elementary Rejuvenation Project Survey

Name:

Date: *May 27, 2022*



1. Which best describes you (Please check one)?:

- ☒ Resident
☐ Part Time Resident
☐ Visitor

2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☐ Less than a year
☐ One year or more but less than five years
☒ Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

Small Coastal Comm.

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☐ 1
☐ 2
☐ 3
☐ 4
☒ 5

5. Please identify your concerns for the project if any:

Please do not mess with the gym acoustics.

6. What do you foresee the major hurdles for the project to be?

?

7. What are you most excited about for this project?

a potential site for CB Chorus rehearsals / concerts

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

Community needs - concerts

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<p>9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)</p> <p><i>space + sound</i></p>
<p>10. Is there a message or feeling you want the project to convey?</p> <p><i>a community space that brings people together</i></p>
<p>11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:</p>

Please give completed survey to a Project Team representative wearing a yellow vest or e-mail to Kelly at kellyd@cidainc.com. Public input may also be provided via the project website at reimaginecbe.com.

Thank you for your participation!

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Cannon Beach Elementary Rejuvenation Project Survey

Name:

Date:



1. Which best describes you (Please check one)?:

- ☒ Resident
☐ Part Time Resident
☐ Visitor

2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☒ Less than a year
☐ One year or more but less than five years
☐ Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you? FAMILY

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☐ 1
☐ 2
☐ 3
☒ 4
☐ 5

5. Please identify your concerns for the project if any:

MORE ACTIVITIES FOR SENIORS - CHILDREN
INDOOR AREAS FOR ACTIVITIES FOR ALL AGES

6. What do you foresee the major hurdles for the project to be?

MONEY VOLS TO MAKE IT HAPPEN

7. What are you most excited about for this project?

THE AVAILABILITY OF SPACE AND A WILLINGNESS
TO USE IT FOR PUBLIC

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

SENIOR AREAS - CARDS ART/CRAFT
YOUNGSTER - ARTS/CRAFTS STORYTIME PLAY AREA
YOUTH TUBRING ARTS AFTER SCHOOL CENTER
INDOOR WALKING TRACK WORKOUT MATS
FOR YOGA TAI CHI ETC



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9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)
10. Is there a message or feeling you want the project to convey?
11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

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Cannon Beach Elementary Rejuvenation Project Survey

Name:

Date: 5/27/22



1. Which best describes you (Please check one)?:

- ☒ Resident
☐ Part Time Resident
☐ Visitor

2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☐ Less than a year
☒ One year or more but less than five years
☐ Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

*Proximity to beach, Support services @ PDX + airport
Tidepools, L+C freshed lands, ecote creek*

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☐ 1
☐ 2
☐ 3
☐ 4
☒ 5

5. Please identify your concerns for the project if any:

Prioritizing residents enjoyment over visitors/non-residents.

6. What do you foresee the major hurdles for the project to be?

Funding, rapidly increasing building costs/fuel.

7. What are you most excited about for this project?

Indoor recreation - In an SELPD employee and play Pickleball indoors throughout the winter. Really want something similar for CB.

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

*Pickleball, add community fire pit
Sustainability education/recycling*



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<p>9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)</p> <p><i>Connect the brill bike paths - especially the wood chip loop to sand entry & Welcoming Man</i></p>
<p>10. Is there a message or feeling you want the project to convey?</p>
<p>11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:</p>

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Cannon Beach Elementary Rejuvenation Project Survey

Name:

Date:



1. Which best describes you (Please check one)?:

- ☒ Resident
☐ Part Time Resident
☐ Visitor

2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☐ Less than a year
☒ One year or more but less than five years
☐ Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

work; walkability; no highway bifurcating

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☐ 1
☐ 2
☒ 3
☐ 4
☐ 5

5. Please identify your concerns for the project if any:

make it walkable. Return it to use as a school so kids don't bus to school + pollute.

6. What do you foresee the major hurdles for the project to be?

Community consensus + concerns about money
if repurposing, it can get awkward + expensive

7. What are you most excited about for this project?

Active, community use. Not a visitor destination. but people can be overly sentimental.

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

green design, construction (clean diesel)

+ operation. A community fitness center.

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9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)

bike racks, tribal history, respect for elk

10. Is there a message or feeling you want the project to convey?

Local, community focused.

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

How are you analyzing pros/cons of repurposing vs. starting over?

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Thank you for your participation!



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Cannon Beach Elementary Rejuvenation Project Survey

Name: _____

Date: _____



1. Which best describes you (Please check one)?:

- ☒ Resident
☐ Part Time Resident
☐ Visitor

2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☐ Less than a year
☐ One year or more but less than five years
☒ Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

*Physical beauty of the landscape +
small-town village feel*

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☐ 1
☐ 2
☐ 3
☐ 4
☒ 5

5. Please identify your concerns for the project if any:

6. What do you foresee the major hurdles for the project to be?

COST

7. What are you most excited about for this project?

*Dances (contra, square, ballroom)
FILMS on winter nights
Place for locals to gather*

*CBAA ART
CAMP!*

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

see above

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<p>9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)</p> <p><i>Murals are Suburbs! NEED TO KEEP!</i></p>
<p>10. Is there a message or feeling you want the project to convey?</p> <p><i>Community historical honor :</i></p>
<p>11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:</p> <p><i>Will there be any sprung floors.</i></p>

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Thank you for your participation!



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Cannon Beach Elementary Rejuvenation Project COE Survey

Name:

Date: 06/01/22



1.	Which best describes you (Please check one)?: <input type="checkbox"/> Resident <input checked="" type="checkbox"/> Part Time Resident <input type="checkbox"/> Visitor
2.	If a resident, how long have you lived in Cannon Beach (Please check one)?: <input type="checkbox"/> Less than a year <input type="checkbox"/> One year or more but less than five years <input checked="" type="checkbox"/> Five years or more
3.	What drew you to Cannon Beach and what makes Cannon Beach unique to you? <i>Beauty of location and proximity to PDX</i>
4.	How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited) <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input checked="" type="checkbox"/> 4 <input type="checkbox"/> 5
5.	Please identify your concerns for the project if any: <i>The site is underutilized</i>
6.	What do you foresee the major hurdles for the project to be? <i>Dissenting opinions for its future.</i>
7.	What are you most excited about for this project? <i>I would like to see an affordable housing Component - possibly above the classrooms.</i>
8.	What type of spaces or activities (indoor and outdoor) would you like to see for this project? <i>Affordable housing, farmers market, sweat lodge made out of one of the rooms.</i>
9.	Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc) <i>Homage to sites' history: Native American and School</i>



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10. Is there a message or feeling you want the project to convey?

A place for community to gather.

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

None.

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Thank you for your participation!

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Cannon Beach Elementary Rejuvenation Project Survey

Name:

Date:



1. Which best describes you (Please check one)?:

- ☐ Resident
☐ Part Time Resident
☒ Visitor

2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☐ Less than a year
☐ One year or more but less than five years
☐ Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

my brother, Bob Wayne

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☐ 1
☐ 2
☐ 3
☐ 4
☒ 5

5. Please identify your concerns for the project if any:

use hanger for community
(not commercial) space.

6. What do you foresee the major hurdles for the project to be?

That the site is architecturally
open (visible) for the public - espec.
Accessable / inviting from the street

7. What are you most excited about for this project?

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

Educational + culturally connected
to history of place + people



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9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)
10. Is there a message or feeling you want the project to convey? <i>See above</i>
11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

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Thank you for your participation!



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Cannon Beach Elementary Rejuvenation Project Survey

Name:

Date: 5-24-2022



1. Which best describes you (Please check one)?:

- ☐ Resident
☒ Part Time Resident
☐ Visitor

2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☒ Less than a year
☐ One year or more but less than five years
☐ Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

Wonderful Small town feel, "Community."
Everyone seems to care about people, beaches, wildlife. We have been coming here for 30 years and feel at home. We love nature, hiking, kayaking, Rock birds, & The Coast

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☐ 1
☐ 2
☐ 3
☐ 4
☒ 5

5. Please identify your concerns for the project if any:

Very excited to bring the Native American culture back to the area

6. What do you foresee the major hurdles for the project to be?

Parking

7. What are you most excited about for this project?

Mayor & City Manager very involved & allowing the community to have so much input.

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

Pickleball Indoor / outdoor
Music / Theatre / Multi-Use
Community Needs Areas

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<p>9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)</p> <p><i>Respecting to Land & Indian Cultural</i></p>
<p>10. Is there a message or feeling you want the project to convey?</p> <p><i>Welcoming / Historical</i></p>
<p>11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:</p>

Please give completed survey to a Project Team representative wearing a yellow vest or e-mail to Kelly at kellyd@cidainc.com. Public input may also be provided via the project website at reimaginecbe.com.

Thank you for your participation!



Cannon Beach Elementary Rejuvenation Project
Survey

Name:

Date:

6/3/22



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1. Which best describes you (Please check one)?:

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☐ Visitor

2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☐ Less than a year
☒ One year or more but less than five years
☐ Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

small town surrounded by wild, beautiful nature. slower pace of life. An artistic community.

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☐ 1
☐ 2
☐ 3
☐ 4
☒ 5

5. Please identify your concerns for the project if any:

respect for and consultation with the Clatsop/Netelam tribal members.

6. What do you foresee the major hurdles for the project to be?

Agreement and consensus among residents as to what the facility should be.

7. What are you most excited about for this project?

The potential for an enhancement of the property.

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

A place to educate visitors about the natural environment and a place to bring residents together.



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<p>9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)</p> <p><i>Native American influence. Incorporating and enhancing the natural environment.</i></p>
<p>10. Is there a message or feeling you want the project to convey?</p> <p><i>respect for the environment and recognition of the indigenous inhabitants.</i></p>
<p>11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:</p> <p><i>—</i></p> <p><i>Thank you for asking for community input!</i></p>

Please give completed survey to a Project Team representative wearing a yellow vest or e-mail to Kelly at kellyd@cidainc.com. Public input may also be provided via the project website at reimaginecbe.com.

Thank you for your participation!



Cannon Beach Elementary Rejuvenation Project Survey

Name

Date:

6/04/22



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1st thing you see
when you come
into Cannon Beach
Needs to be
visually amazing
& match Nature
of Native American
Feeling.

"A Bridge to
Possibilities"

ARCHITECTURE
ENGINEERING
PLANNING
INTERIORS

1. Which best describes you (Please check one)?:	<input checked="" type="checkbox"/> Resident <input type="checkbox"/> Part Time Resident <input type="checkbox"/> Visitor
2. If a resident, how long have you lived in Cannon Beach (Please check one)?:	<input type="checkbox"/> Less than a year <input checked="" type="checkbox"/> One year or more but less than five years <input type="checkbox"/> Five years or more
3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?	<i>Have come here all of my life. Retired here.</i> <i>Nature! The Beauty of Nature...</i> <i>Slower Pace of Life - Fresh Ocean Air!</i>
4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)	<input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input checked="" type="checkbox"/> 5 <i>A lot of potential for the Community - A gathering place</i>
5. Please identify your concerns for the project if any:	<i>Doing it right from the beginning, Preserving the Nature around it. Focus on American Indian History & Culture</i>
6. What do you foresee the major hurdles for the project to be?	<i>Refurbishing old, dilapidated buildings. Going from Military style Buildings to an American Indian modern style or Design. No Parking on Native walk</i>
7. What are you most excited about for this project?	<i>Community Activities & A place to gather.</i> <i>A place to be happy!</i>
8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?	<i>Muse, Education of the Environment around CB - Wildlife, Birds, etc.</i> <i>Classes, Cultural Events, & more.</i>

CIDA

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9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)

Native American Symbols.

Physically a comfortable place to be. Outdoor firepit where people can gather around. Maybe a covered area to gather outside when it rains.

10. Is there a message or feeling you want the project to convey?

Native American feel. Modern + Comfortable place to be.

Nice Restrooms - No Parking in Park - Preserve Park setting.

Focus on Nature & what brings people to CB.

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

Call Don Stasny Architect who has a home in CB

Designed Warm Springs Indian Reservation Museum &

PSU Event Center with focus on Native Culture. Well known Architect on Native Culture. Insightful!!

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Thank you for your participation!

Thank you for Asking!

off of the classrooms - could there be a covered sitting area - to be outside if it is raining - A lot of rain in CB

Don Stasny

(503) 703-8222

ARCHITECTURE
ENGINEERING
LANDSCAPE
INTERIOR



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Cannon Beach Elementary Rejuvenation Project Survey

Name:

Date: 06/02/22



1. Which best describes you (Please check one)?:	<input checked="" type="checkbox"/> Resident <input type="checkbox"/> Part Time Resident <input type="checkbox"/> Visitor
2. If a resident, how long have you lived in Cannon Beach (Please check one)?:	<input type="checkbox"/> Less than a year <input type="checkbox"/> One year or more but less than five years <input checked="" type="checkbox"/> Five years or more
3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?	NATURAL BEAUTY, A NON-CARNIVAL ATMOSPHERE.
4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)	<input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input checked="" type="checkbox"/> 4 <input type="checkbox"/> 5
5. Please identify your concerns for the project if any:	I STRONGLY SUPPORT RE-USING & RESTORING EXISTING STRUCTURES. I DO BELIEVE WE NEED AVOID ANY PHASE OF KEEP AN EYE ON COST-EFFECTIVENESS.
6. What do you foresee the major hurdles for the project to be?	HIDDEN DAMAGE.
7. What are you most excited about for this project?	FUTURE PERFORMANCES AND CLASSES.
8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?	ART & MUSIC EDUCATION AS WELL AS LIVE PERFORMANCE.

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9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)
10. Is there a message or feeling you want the project to convey? <i>THE HIGH VALUE OF EACH INDIVIDUAL AND A CELEBRATION OF CREATIVITY.</i>
11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

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Thank you for your participation!

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INTERIORS

Cannon Beach Elementary Rejuvenation Project Survey

Name:

Date:

5/28/22



1. Which best describes you (Please check one)?:

- ☐ Resident
☒ Part Time Resident
☐ Visitor

2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☐ Less than a year
☐ One year or more but less than five years
☒ Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

NATURAL BEAUTY & PEACEFUL SURROUNDINGS

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☐ 1
☐ 2
☒ 3
☐ 4
☐ 5

+ a resource bldg for residents

- another potential attraction for visitors

5. Please identify your concerns for the project if any:

① Scope & cost overruns

6. What do you foresee the major hurdles for the project to be?

① How to deal with ugly blacktop parking
- hope no more visitor parking

7. What are you most excited about for this project?

① Multipurpose gym

② A Robust home for the food bank

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

① indoor sports activities

② Robust food bank

③ An AVAILABLE community room

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9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)

~ respecting the estuary

10. Is there a message or feeling you want the project to convey?

- a set of single displays for conveying Native American heritage
- a community room for activities
- multi purpose sports for the gym.

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

- Can the parking/asphalt be disguise with planters, info boards/kiosks to avoid using it for parking or spend money to excavate.

Please give completed survey to a Project Team representative wearing a yellow vest or e-mail to Kelly at kellyd@cidainc.com. Public input may also be provided via the project website at reimaginecbe.com.

Thank you for your participation!

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ARCHITECTURE
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INTERIORS

Cannon Beach Elementary Rejuvenation Project Survey

SURVEY

Name:

Date:



1. Which best describes you (Please check one)?:

- ☒ Resident
☒ Part Time Resident
☐ Visitor

I have lived in Cannon Beach on & off for 45 years. I have owned a home for 45 years & COMMERCIAL PROPERTY FOR 10 YEARS

2. If a resident, how long have you lived in Cannon Beach (Please check one)?:

- ☐ Less than a year
☐ One year or more but less than five years
☒ Five years or more

3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?

I spent several weeks each summer here starting in 1959 until I left the NW for college. I loved the scale, the pace of life & the positive energy.

4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)

- ☐ 1
☐ 2
☐ 3
☐ 4
☒ 5

IF DONE WELL TO complement the village & ARTS culture the we enjoy.

5. Please identify your concerns for the project if any:

That the city will create a divisive environment resulting in unclear use & design goals & as a consequence a compromised outcome

6. What do you foresee the major hurdles for the project to be?

The city adopting clear goals.

7. What are you most excited about for this project?

The opportunity to support the arts, community & honor the native Americans who first established a home here.

8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?

GUEST ARTIST STUDIOS, ARTS LEARN CENTER, CONFERENCE/CONCERT VENUE.



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9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc) *Tranquility.*

10. Is there a message or feeling you want the project to convey? *Visit us, share our world & understand what is possible for both yourself & the world we share.*

11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:

Please give completed survey to a Project Team representative wearing a yellow vest or e-mail to Kelly at kellyd@cidainc.com. Public input may also be provided via the project website at reimaginecbe.com.

Thank you for your participation!

ARCHITECTURE
ENGINEERING
PLANNING
INTERIORS



Sent: Friday, June 3, 2022 4:05 PM
 To: Tracy West <tracyw@cidainc.com>
 Subject: Cannon Beach Reimage

Here is is...

6-3-23

1. Part time resident
2. NA
3. Scenery, art galleries, ocean, theater, food 4. #5 5. The aesthetic/natural beauty of the area should be optimized, not compromised. Parking need not be the first vision that greets you when entering Cannon Beach. Structure should reflect the area.
6. \$\$\$...push-back from those with voices who fear change...those with long responsibility but are short in vision 7. Expanding the use by the local community and enhancing the arts in all its forms 8. Art/theater summer camps..year-round classes for residents..concerts...conventions 9. Is 1% for the arts are requirement? provide opportunity for established and emerging artists to present their concept.
10. Welcoming to all...Excitement...Personal growth and learning...Opportunity for new experiences...Exchange of ideas

Sorry it took so long to address, but here it is... ...Delighted to know that CIDA is involved.



Cannon Beach Elementary Rejuvenation Project Survey

Name:

Date:

27 May 2022



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City of Cannon Beach
Finance Department

JUN - 1 2022

Received

1. Which best describes you (Please check one)?:	<input checked="" type="checkbox"/> Resident <input type="checkbox"/> Part Time Resident <input type="checkbox"/> Visitor
2. If a resident, how long have you lived in Cannon Beach (Please check one)?:	<input type="checkbox"/> Less than a year <input type="checkbox"/> One year or more but less than five years <input checked="" type="checkbox"/> Five years or more 12.5 years
3. What drew you to Cannon Beach and what makes Cannon Beach unique to you?	I first visited Cannon Beach when I was 3 months old. I retired in Cannon Beach in Dec 2009.
4. How excited are you to see the Cannon Beach Elementary School and site revitalized (1 being not excited and 5 being very excited)	<input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 My excitement totally depends up on <u>WHAT</u> is done.
5. Please identify your concerns for the project if any:	Adding creek-side parking would destroy the ambience of Ne'cus Park! A shuttle from the site to parking would help.
6. What do you foresee the major hurdles for the project to be?	① Parking ② Funding for aesthetic renovations Ne'cus style ③ Remove gym building - out of character
7. What are you most excited about for this project?	Additional gratitude to our Ne'cus predecessors. Classroom remodel → ^{workshop} longhouse ^{workshop} for ^{carving displays + art}
8. What type of spaces or activities (indoor and outdoor) would you like to see for this project?	Cannon Beach is an <u>event</u> in itself!



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<p>9. Are there any special features that are important to you? (ex. Murals, Welcoming Man, etc)</p> <p>(3) (4) of those historic features have been in place for several years including a Welcoming Man bench side.</p>
<p>10. Is there a message or feeling you want the project to convey?</p> <p>The historic message The Ne'cos gaoos.</p>
<p>11. Do you have any questions you would like the Project Team to address? If yes, please indicate below:</p> <p>If there are inadequate funds to create this memorial to the tribe now, how about saving for that opportunity?</p>

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Thank you for your participation!

*** A museum + workshop for Native Craftspeople to showcase their carvings + art.

*** There is a dire need for a Public Restroom nearby this old school.

*** Then the old school could be remodeled into that museum + workshop + a longhouse!

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