



CITY OF CANNON BEACH

BEFORE THE DESIGN REVIEW BOARD OF THE CITY OF CANNON BEACH

IN THE MATTER OF A DESIGN REVIEW APPLICATION FOR
EXTERIOR RENOVATIONS TO THE CANNON BEACH
CONFERENCE CENTER AT 289 N. SPRUCE ST, PROPERTY
DESCRIPTION: MAP 51020CC, TAX LOT 100.
ZONE: RM

FINDINGS OF FACT,
CONCLUSIONS, AND
ORDER DRB 24-06

APPLICANT: David Bissett Architect PC
4788 Sheridan Dr.
Gearhart, OR 97138

David Bissett, on behalf of the Cannon Beach Conference Center, requested design review for exterior renovations to the Haven Building at 289 N. Spruce St. The application was reviewed against the criteria of Municipal Code, Chapter 17.44.080-17.44.100, Design Review Criteria.

The public hearing on the above-entitled matter was held before the Design Review Board on 3/21/2024 and the Design Review Board closed the public hearing and a decision was made at that meeting.

THE DESIGN REVIEW BOARD ORDERS that the application for the exterior renovations to the Haven Building of the Cannon Beach Conference Center is APPROVED WITH CONDITIONS and adopts the findings of fact, conclusions and conditions contained in the Findings of Fact and Conclusions of Law attached to this document. The effective date of this Order is 14 days following the signing of the Order.

This decision may be appealed to the City Council by an affected party by filing an appeal with the City Manager within 14 days of this date.

CANNON BEACH DESIGN REVIEW BOARD

DATED: 3/28/2024

DocuSigned by:

David Doering

72F6B6CD11F041C...

David Doering, Chair



CANNON BEACH COMMUNITY DEVELOPMENT

163 E. GOWER ST.

PO Box 368

CANNON BEACH, OR 97110

Cannon Beach Design Review Board

Findings of Fact and Conclusions of Law

DRB 24-06, DAVID BISSETT, APPLICANT, ON BEHALF OF CANNON BEACH CONFERENCE CENTER FOR EXTERIOR ALTERATIONS TO THE HAVEN BUILDING. THE PROPERTY IS LOCATED AT 289 N. SPRUCE ST. (TAXLOT 100, MAP 51020CC) IN A RESIDENTIAL MOTEL (RM) ZONE. THE APPLICATION WILL BE REVIEWED AGAINST THE CRITERIA OF MUNICIPAL CODE CHAPTER 17.44.080 – 17.44.100, DESIGN REVIEW CRITERIA.

Agenda Date: March 21, 2024

EXHIBITS

The following Exhibits are attached hereto as referenced.

“A” Exhibits – Application Materials

- A-1** Design Review Application DRB#24-06, submitted February 26, 2024;
- A-2** Project Narrative, submitted February 26, 2024;
- A-3** Project Schematics, submitted February 26, 2024;
- A-4** Materials Information, submitted February 26, 2024

“C” Exhibits – Cannon Beach Supplements

- C-1** DRB 24-06 Completeness Determination Letter, dated March 1, 2024;

SUMMARY & BACKGROUND

The proposed project consists of making structural modifications to the Haven Building of the Cannon Beach Conference Center. The first upgrade involves the Office/Registration entry, this will include exchanging the location of doors and windows serving this space, adding a gabled roof extension, and adding new accent shingle siding around the new entry doors. The second upgrade will consist of improvements to the Coach House coffee area and its sunroom. This work will be limited to improvements to doors and windows in that area. Additional work such as interior and electrical upgrades will also be part of this project.

APPROVAL CRITERIA

17.44 Design Review Standards and Requirements.

17.44.090 Architectural Design Evaluation Criteria.

The Design Review Board finds that the application consists of two parts: changes to entry area and check in offices of the Haven Building shown on Sheet A2.1 of Exhibit C-3 and changes to fenestration of the Haven Building-Coach House where windows would be replaced with doors as shown on Sheet A2.2 of Exhibit C-3.

The Board finds that the first part of this application meets the applicable criteria of the Municipal Code.

The Board finds that the second part of the application has been modified to remove landscaping changes including the installation of a new terrace which the proposed doors would open on to. The applicant's intent was to have the changes in landscaping reviewed separately in a different application. The Board was unable to find that the revised proposal, consisting only of replacing windows with exit doors, would satisfy the applicable criteria of the Municipal Code and requested that additional information be provided by the applicant regarding the proposed improvement and any landscaping changes that may be necessitated by this change.

DECISION AND CONDITIONS

Architectural

Motion: Having considered the evidence in the record and upon a motion by Board member Ramey, seconded by Board member Valigura, the Cannon Beach Design Review Board voted to approve the architectural plan of the David Bissett application to for the Cannon Beach Conference Center Haven Building project at 289 N. Spruce St., DRB 24-06, as discussed at this public hearing subject to the following conditions:

1. The work approved by this decision is limited to the Haven Building entry upgrades shown on Sheet A2.1 of Exhibit A-3.
2. The proposed changes to fenestration at the Haven Building-Coach House shown on Sheet A2.2 of Exhibit A-3 are not approved by this decision and require further review by the Design Review Board.

Notice of Approval

17.44.140 Final approval expiration.

The final approval of a design review plan shall be void after one year of the date of approval unless a building permit has been obtained. (Ord. 90-3 § 15)



CITY OF CANNON BEACH

City of Cannon Beach
Finance Department

FEB 26 2024

Received

DESIGN REVIEW BOARD APPLICATION

Please fill out this form completely. Please type or print.

Applicant Name: DAVID BISSETT ARCHITECT PC
 Mailing Address: 4788 SHERIDAN DRIVE
GEARHART, OR. 97138
 Email Address: DAVIDB@DBAARCH.COM
 Telephone: 503.341.4445

Property-Owner Name: CANNON BEACH CONFERENCE CENTER (CBCO)
 (if other than applicant)
 Mailing Address: 289 N. SPRUCE
CANNON BEACH, OR. 97110
 Telephone: 503.436.8053
 Property Location: N. SPRUCE & THIRD ST.
 (street address)
 Map No.: SEE SURVEY INFO. SUBMITTED.

Project Description:

SEE ATTACHED STATEMENT OF INTENT.

Please see the back of this sheet for Design Review submittal requirements for site analysis diagram, site development plan, landscape plan and architectural plans which must be included with this application.

Application Fees:

| | |
|-------------------------------------|-------|
| Minor Modification: | \$50 |
| Major Modification, partial review: | \$200 |
| Major Modification, full review: | \$600 |

Applicant Signature: [Signature] Date: 2-24-24
 Property Owner Signature: [Signature] Date: 2-24-24

If the applicant is other than the owner, the owner hereby grants permission for the applicant to act on his/her behalf. Please attach the name, address, phone number, and signature of any additional property owners.

For Staff Use Only:

Received on: _____ By: _____
 Fee Paid: _____ Receipt No.: _____
 (Last revised March 2021)

City of Cannon Beach
Finance Department

FEB 26 2024

PAID

STATEMENT OF INTENT

DESIGN REVIEW APPLICATION

Cannon Beach Conference Center

289 N. Spruce St. Cannon Beach, OR. 97110

February 24, 2024

Overview:

The proposed design is limited to specific exterior and interior improvements to the existing Haven Building at Cannon Beach Conference Center (CBCC) located at 289 N. Spruce St., Cannon Beach, OR. 97110. The work scope is divided into two areas of the Haven Building.

First, are minor upgrades to the existing Office/Registration Entry facing west towards Spruce and Third Streets. This involves removing some existing windows and replacing them with new fiberglass glass panel double doors, hardware and replacing a single door with a new window. A new gable roof extension at this entry is proposed to both give visual identity, added weather protection and nice entry feature (open frame heavy timber style and details per drawings). Accent shingle siding around the entry doors are proposed. Minor electrical and interior trim and finishes are proposed at the areas of work noted – refer to the design drawings and project information provided. No changes are proposed to existing parking/landscaping/site conditions.

Second, there are minor upgrades to the existing Coach House Coffee area and connecting Sunroom that faces south towards an existing interior landscaped area between other buildings. The coffee and food service is limited to serving conference guests only. This work involves removing some existing windows and installing new fiberglass glass panel doors, hardware and replacing an existing door with a new window. No changes are proposed to existing landscaping/site conditions. There are (4) existing trees and a small planting bed and grass in the area that will remain. There are some minor changes to an existing interior wall and some electrical repairs proposed to the interior of this area – refer to the design drawings and project information provided.

The proposed total cost of the project is expected not to exceed \$200,000 and anticipated to commence as soon as city approvals are completed.

Drawings depicting the proposal are provided. Site plans and drawings include existing buildings, parking and landscaped areas showing the information needed for this limited scope work for this proposal are provided. Tree locations are shown as well as photographs and other pertinent information to explain the proposed work intended. An architectural model and energy conservation measures are not applicable to this proposal. Property Survey information is provided. Planning information is provided on the cover sheet of the drawings. Product information is provided and exterior materials and finishes are noted on the drawings provided.

Respectfully Submitted,
David Bissett Architect PC
AIA / NCARB

CANNON BEACH CONFERENCE CENTER

289 N. SPRUCE

CANNON BEACH, OR 97110



dba DAVID BISSETT ARCHITECT PC
 503.341.4445 davidb@dbaarch.com
 www.DBAarch.com

COVER SHEET
 CANNON BEACH
 CONFERENCE CENTER
 289 N. Spruce
 CANNON BEACH, OR 97110



Revisions

Drawn By: TA
 Checked By: DB
 Project Number:

Issue Date: February 19, 2024
 Drawing File Name:

CBCC
 Sheet Number:

CS

| MATERIALS | |
|-----------|--------------------------------------|
| | EARTH |
| | SAND / MORTAR PLASTER |
| | CONCRETE |
| | BRICK / VENEER C.M.U. |
| | CONCRETE MASONRY UNIT |
| | METAL |
| | FINISH WOOD |
| | WOOD FRAMING (THROUGH MEMBER) |
| | WOOD BLOCKING (INTERRUPTED MEMBER) |
| | PLYWOOD |
| | ACOUSTIC TILE / BOARD |
| | GYPSUM BOARD |
| | BATT INSULATION |
| | RIGID INSULATION |

| SYMBOLS | |
|---------|---|
| | DETAIL NUMBER |
| | SHEET WHERE DETAIL IS DRAWN |
| | DETAIL |
| | SECTION NUMBER |
| | SHEET WHERE DETAIL IS DRAWN |
| | SECTION |
| | DETAIL NUMBER |
| | SHEET WHERE SECTION IS DRAWN |
| | AREA TO BE DETAILED OR ENLARGED |
| | DETAIL - ENLARGED PLAN |
| | ELEVATION LETTER |
| | INTERIOR ELEVATION KEY |
| | SHEET WHERE ELEVATION IS DRAWN |
| | INTERIOR ELEVATION |
| | ROOM NUMBER |
| | LOCATION OF DETAIL ON SHEET WHERE IT IS DRAWN |
| | DRAWING TITLE |
| | SCALE |
| | DRAWING TITLE |

| KEY NOTE LEGEND: | |
|------------------|--|
| | CIVIL/SITE KEY NOTE TARGET |
| | FLOOR PLAN KEY NOTE TARGET |
| | ROOF PLAN KEY NOTE TARGET |
| | ELEVATIONS KEY NOTE TARGET |
| | BUILDING/WALL SECTION KEY NOTE TARGET |
| | REFLECTED CEILING PLAN KEY NOTE TARGET |
| | LANDSCAPE KEY NOTE TARGET |

OVERALL SITE KEYPLAN
NTS

CODE RELATED INFORMATION

BUILDING CODE

2022 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
 2021 INTERNATIONAL FIRE CODE (IFC)
 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
 ASCE 7-10 OREGON WIND MAP & RISK CATEGORY
 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC)
 2022 OREGON ELECTRICAL SPECIALTY CODE (OESC)
 2022 OREGON MECHANICAL SPECIALTY CODE (OMSC)
 2023 OREGON PLUMBING SPECIALTY CODE (OPSC)
 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

TYPE V - FULLY SPRINTERED CONSTRUCTION
 2 STORY EXISTING BUILDING
 A-3 OCCUPANCY (ASSEMBLE - WORSHIP/LECTURE HALL)

CANNON BEACH - TITLE 17 ZONING

- EXISTING LAND USE = TOURIST ACCOMMODATIONS.
- NO FLOOD HAZARD OVERLAY.
- NO OCEANFRONT MANAGEMENT OVERLAY.
- NO LOCAL WETLAND OR AFFECTED TAX LOTS.
- RM - RESIDENTIAL MOTEL ZONE.
- OUTRIGHT PERMITTED USES OR EXISTING CUP
- FRONT SETBACK = 15'
- SIDE SETBACK = 5' or 15'
- REAR SETBACK = 15' or 5'
- MAX. BUILDING HT. = 32' FOR 5:12 OR GREATER PITCHED ROOF.
- PARKING PER 17.70 (NOT APPLICABLE AS THERE IS NO CHANGE TO OCCUPANCY OR sq.ft.)
- CUP PER 17.80 (NOT APPLICABLE AS THERE IS NO CHANGE TO EXISTING USES).
- NON-CONFORMING/PRE-EXISTING USES PER 17.82 (APPLIES BUT NO CHANGE TO EXISTING NON-CONFORMING & PRE-EXISTING USES).
- SITE PLAN REQUIRED PER 17.90.190

VICINITY MAP

SITE LOCATION

289 N Spruce St

VICINITY MAP
NTS

| INDEX OF SHEETS | |
|-----------------|-----------------------------------|
| NO. | DESCRIPTION |
| CS | COVER SHEET |
| A1.1 | SITE PLAN |
| A1.2 | AERIAL SITE PLAN |
| A1.3 | SURVEY PLAN |
| A2.1 | ENTRY - PLAN, ELEVATION & SECTION |
| A2.2 | COACH HOUSE - PLAN & ELEVATION |

GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL REVIEW ALL SITE CONDITIONS AND CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES IN THE PROPOSED WORK TO THE ARCHITECT IMMEDIATELY. PROCEED ONLY AFTER WRITTEN CLARIFICATIONS ARE SUBMITTED.

PROJECT TEAM

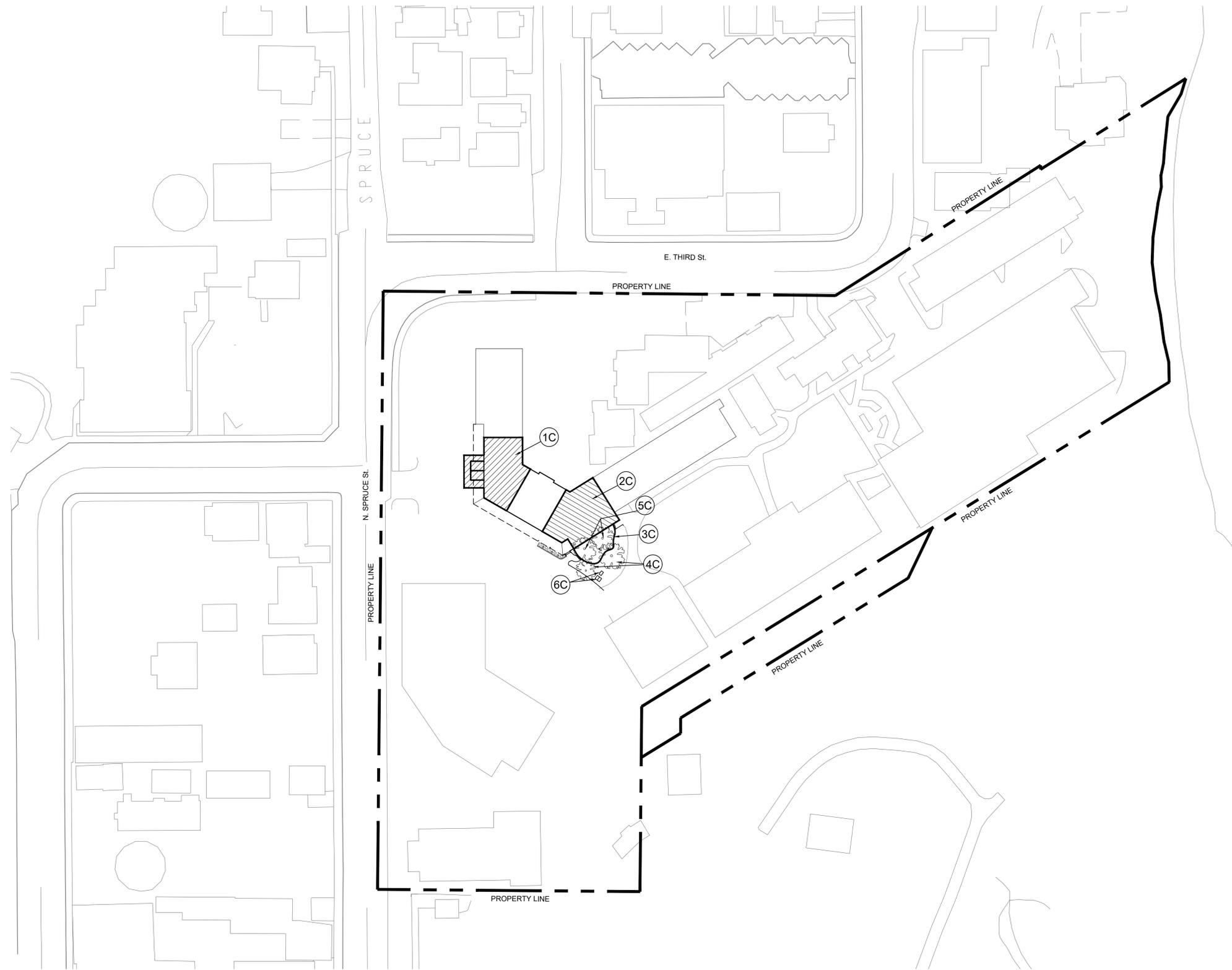
OWNERS:
 CANNON BEACH CONFERENCE CENTER
 289 N. SPRUCE
 CANNON BEACH, OR 97110
 ROBERT St. CLAIR
 503.436.8053
 stclair@ci.cannon-beach.or.us

ARCHITECT:
 DAVID BISSETT ARCHITECT, PC
 10940 SW BARNES RD., #101
 PORTLAND, OR 97225
 (503) 341-4445
 DAVIDB@DBAARCH.COM

CONTRACTOR:
 TBD

STRUCTURAL ENGINEER:
 WOLDEN STRUCTURAL ENGINEER LLC
 TIM WOLDEN SE
 34930 HWY. 53
 NEHALEM, OR 97131
 (503) 368-7962
 TIM@WOLDENSE.COM

REVIEW SET



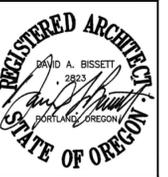
1 SITE PLAN
A1.1 1" = 40'-0" 0' 10' 20' 40'

GENERAL NOTES:

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KEY NOTES:

- 1C HAVEN BLDG. - ENTRY UPGRADE. SEE A2.1
- 2C HAVEN BLDG. - COACH HOUSE UPGRADE. SEE A2.2
- 3C NEW OUTDOOR TERRACE W/ PAVERS OVER RAISED COMPACTED GRAVEL/SAND BASE. PAVERS TO COMPLIMENT/MATCH EXISTING ADJACENT. SEE A2.2
- 4C TREES TO REMAIN (2)
- 5C TREES TO BE REMOVED (2)
- 6C EXISTING POWER BOX, UTILITY VAULT TO REMAIN



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SITE PLAN
CANNON BEACH
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289 N. Spruce
CANNON BEACH, OR 97110

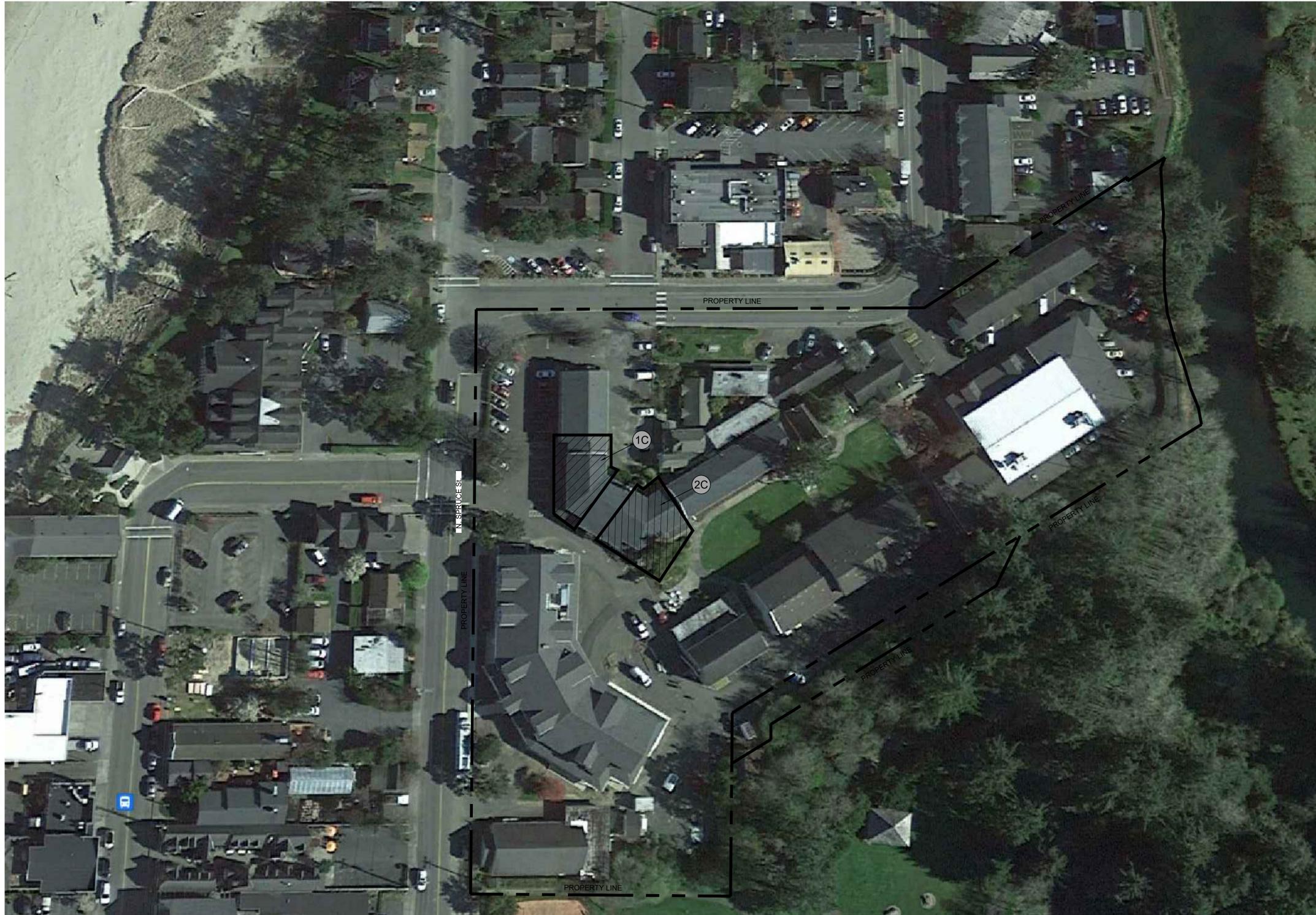


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Project Number
Issue Date February 19, 2024
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Sheet Number

A1.1

REVIEW SET



1 AERIAL SITE PLAN
A1.2 NTS



GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL REVIEW ALL SITE CONDITIONS AND CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES IN THE PROPOSED WORK TO THE ARCHITECT IMMEDIATELY. PROCEED ONLY AFTER WRITTEN CLARIFICATIONS ARE SUBMITTED.

KEY NOTES:

- 1C HAVEN BLDG. - ENTRY UPGRADE. SEE A2.1
- 2C HAVEN BLDG. - COACH HOUSE UPGRADE. SEE A2.2



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AERIAL SITE PLAN
CANNON BEACH
CONFERENCE CENTER
289 N. Spruce
CANNON BEACH, OR 97110



Revisions

Drawn By
TA

Checked By
DB

Project Number

Issue Date

February 19, 2024

Drawing File Name

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Sheet Number

A1.2

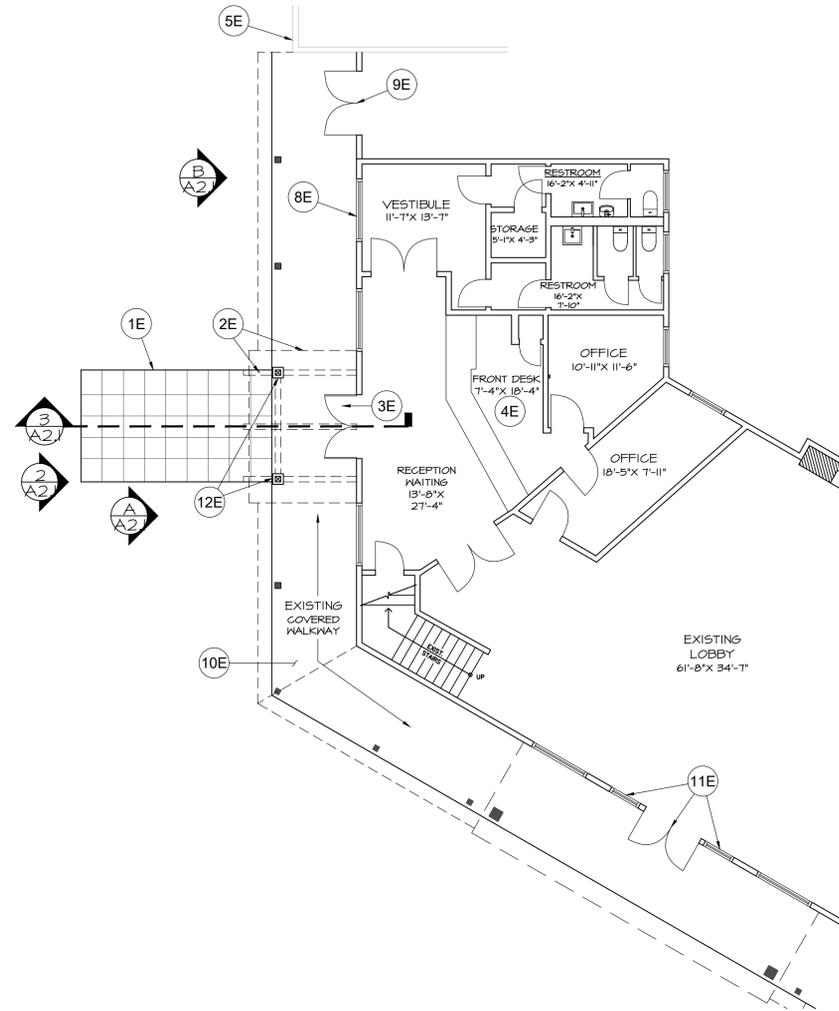
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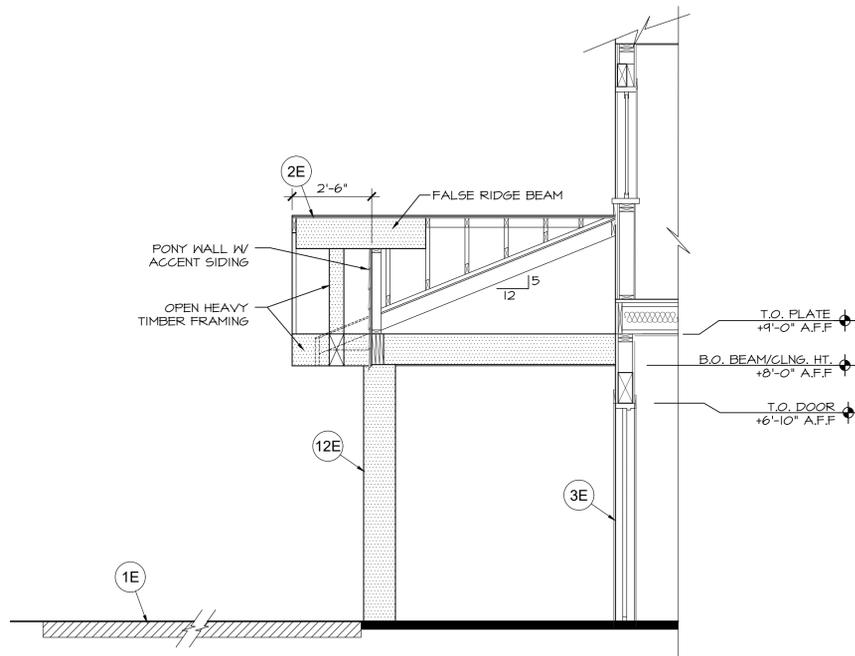
(A) IMAGE A
A2.1 NTS



(B) IMAGE B
A2.1 NTS



(1) FLOOR PLAN - PARTIAL HAVEN BLDG. - ENTRY UPGRADES
A2.1 1/8" = 1'-0"



(3) ENTRY CANOPY SECTION
A2.1 3/8" = 1'-0"



(2) ENTRY ELEVATION
A2.1 1/4" = 1'-0"

GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL REVIEW ALL SITE CONDITIONS AND CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES IN THE PROPOSED WORK TO THE ARCHITECT IMMEDIATELY. PROCEED ONLY AFTER WRITTEN CLARIFICATIONS ARE SUBMITTED.

KEY NOTES: - ENTRY

- 1E NEW PAVER STONES - CUT OUT EXISTING PARKING SPACE AC PAVING & INSTALL NEW PAVER STONES (VEHICLE RATED) OVER COMPACTED GRAVEL/SAND BASE
- 2E NEW ENTRY GABLE ROOF CANOPY - OVER FRAME EXISTING COVERED WALKWAY ROOF SECTION & INSTALL NEW OPEN EXPOSED FRAMING AT FRONT EDGE ONLY - SEE SECTION NOTES. POSTS, GABLE ROOFING W/ DETAILS, MATERIALS & FINISHES TO MATCH EXISTING CONSTRUCTION.
- 3E NEW GLASS PANEL ENTRY DOORS W/ ADA ENTRY LOCKSET & SELF CLOSER HARDWARE. DOOR TYPE & FINISH TBD. REMOVE EXISTING WINDOW & PREP OPENING FOR NEW DOORS & FRAME.
- 4E EXISTING FRONT DESK/RECEPTION AREA - INTERIOR MODIFICATIONS & UPGRADES TBD.
- 5E EXISTING BUILDING TO REMAIN
- 6E RELOCATE HOSE BIBB
- 7E ACCENT CEDAR SHINGLE SIDING & COLOR
- 8E REMOVE DOOR AND RELOCATE WINDOW
- 9E REPLACE EXISTING DOORS TO MATCH NEW
- 10E ALTERNATE COST FOR NEW EPOXY TOP TEXTURE ON EXISTING CONC. SLAB AT EXISTING COVERED WALKWAY.
- 11E REPLACE CENTER PAIR DOORS AND REMOVE SIDE DOORS W/ FIXED DOOR PANELS - NO HARDWARE.
- 12E 12" SQ. POST WRAP



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STATE OF OREGON
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ENTRY UPGRADE
CANNON BEACH
CONFERENCE CENTER
289 N. Spruce
CANNON BEACH, OR 97110



| Revisions | |
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Issue Date February 19, 2024
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A2.1

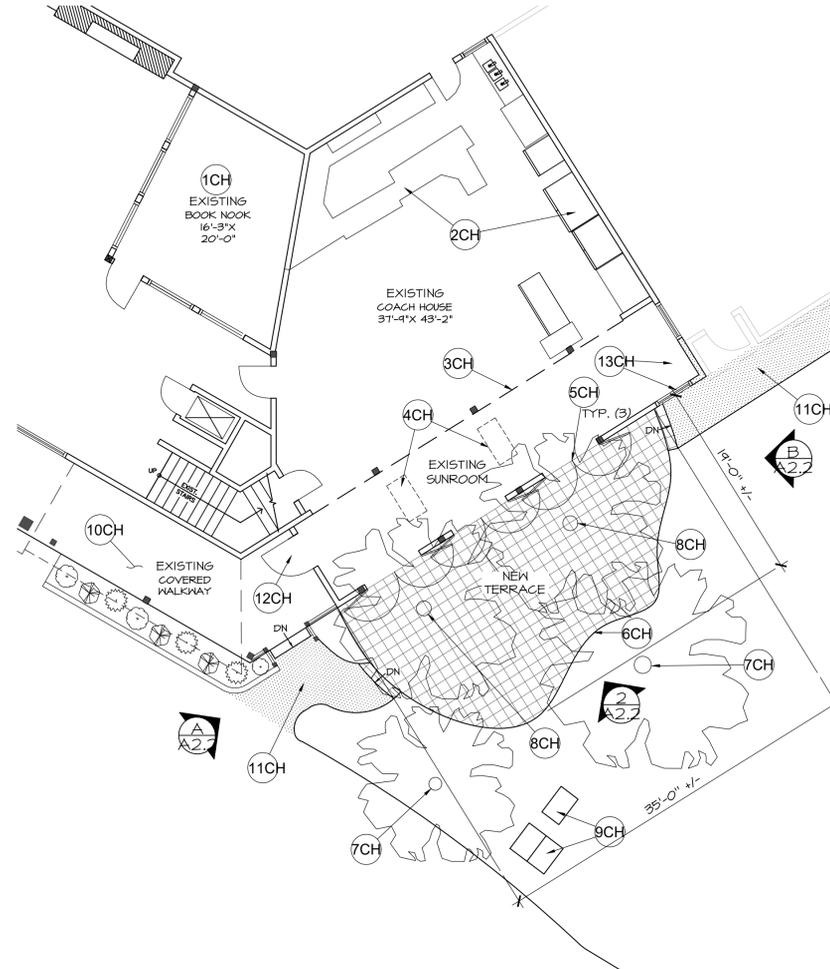
REVIEW SET



(A) IMAGE A
(A2.1) NTS



(B) IMAGE B
(A2.1) NTS



(1) FLOOR PLAN - PARTIAL
(A2.2) HAVEN BLDG. - COACH HOUSE UPGRADES
1/8" = 1'-0"



(2) TERRACE ELEVATION
(A2.2) 1/4" = 1'-0"

GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL REVIEW ALL SITE CONDITIONS AND CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES IN THE PROPOSED WORK TO THE ARCHITECT IMMEDIATELY. PROCEED ONLY AFTER WRITTEN CLARIFICATIONS ARE SUBMITTED.

KEY NOTES: - COACH HOUSE

- (1CH) EXISTING WALLS, DOORS & WINDOWS TO REMAIN.
- (2CH) EXISTING EQUIPMENT, FIXTURES & BUILT-INS TO REMAIN.
- (3CH) EXISTING WALLS REMOVED. OPENINGS ENLARGED & STRUCTURAL POSTS & HEADERS TBD.
- (4CH) EXISTING SKYLIGHTS TO REMAIN.
- (5CH) EXISTING WINDOWS REMOVED. OPENING MODIFICATIONS & NEW GLASS PANEL DOORS - SEE (14CH) ALSO.
- (6CH) NEW OUTDOOR TERRACE W/ PAVERS OVER RAISED COMPACTED GRAVEL/SAND BASE. PAVERS TO COMPLEMENT/MATCH EXISTING ADJACENT. FINISH GRADE TRANSITIONS & MATCH POINTS TO EXISTING TBD. EXISTING TREES TO BE REMOVED AS NOTED W/ NEW PERIMETER LANDSCAPE.
- (7CH) TREES TO REMAIN (2)
- (8CH) TREES TO BE REMOVED (2)
- (9CH) EXISTING POWER BOX, UTILITY VAULT TO REMAIN
- (10CH) ALTERNATE COST FOR NEW EPOXY TOP TEXTURE ON EXISTING CONC. SLAB AT EXISTING COVERED WALKWAY.
- (11CH) EXISTING CONC. SIDEWALK TO REMAIN
- (12CH) REMOVE EXISTING DOOR AND SIDE LITE. REPLACE W/ NE GLASS PANEL EXIT DOOR (42" W) W/ ADA EXIT HARDWARE (INFILL FRAMING AS REQUIRED).
- (13CH) REMOVE EXISTING WALLS, DOORS, & WINDOWS - REFRAME TO ENCLOSE OUTSIDE LANDING AND ADD (2) NEW WINDOWS.
- (14CH) OPTION FOR STACK GLASS PANEL DOOR SYSTEM INLIEU OF (3) PAIRS OF NEW DOORS SHOWN.



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COACH HOUSE UPGRADE
CANNON BEACH
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| Revisions | |
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Drawn By: TA
Checked By: DB
Project Number:

Issue Date:
February 19, 2024
Drawing File Name:

CBCC
Sheet Number:

A2.2

REVIEW SET

Quote Name: Cannon Beach Conference Center
Customer: JSA
Payment Terms:
Sales Representative: Nicole Keller **Mobile:**
 nicole.keller@parr.com
Weighted Average: U-Factor: .29, SHGC: 0.2, VT: .35

Quote Number: SQPASZ003728_1
Created Date: 2/1/2024
Modified Date: 2/12/2024
PO Number:
Total Windows: 1
Total Doors: 8
Total Sq Ft: 330.00
Total Perim Ft: 228
Est. Delivery: _____

Comments:

For warranty information please visit www.milgard.com/warranty/

Billing Information

Name: JSA
Address:

Phone:
Fax:
Email:

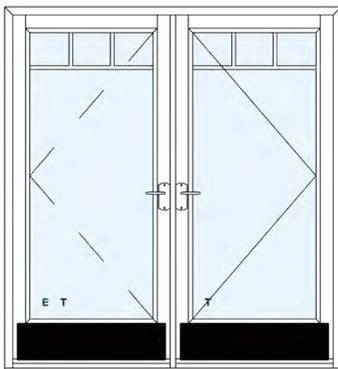
Shipping Information

Name:
Address:

Phone:
Fax:
Email:

Line: 1 **Location:** ENTRY OFFICE/LOBBY
Quantity: 3 Ultra C650, 3945U, OS2P2, 1 3/8" Setback, Ext Frost / Int White, U-Factor: .29, SHGC: .19, VT: .33, **PG:**
No Rating

Flat, Ext Frost/Int White, 13 1/4" Valance 6W1H
 Hinge Finish: Satin Nickel
 Handle Finish: Ext Satin Nickel/Int Satin Nickel
 Keyed Alike Locks
 Low Profile Sill
 ADA Prep Package
 Custom Size
 Argon Gas Filled
 Foam fill Frame
 Tariff



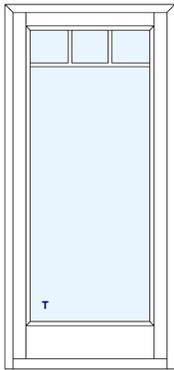
Viewed From Exterior

Model = Outswing Two Panel
 Size = Net Frame: 73 3/8" x 79 1/2"
 Handing = Passive / Active
 Energy Star Zone(s) = None
 Glass = 1/8" SunCoat (Low-E) Tempered over 1/8" Clear Tempered with Gray Foam Spacer
 Glazing = Dual Glaze with Argon
 Grids = Flat, Ext Frost / Int White, 13 1/4" Valance 6W1H
 Wall = 4 9/16" Wall Condition, 0" Primed Jamb Extension
 Hardware = Madrona Handle, Ext Satin Nickel, Int Satin Nickel, Satin Nickel Hinge Finish, Keyed Alike
 Other Options = ADA Compliant Sill, Low Profile Sill, ADA Prep Package, Glazing Policy: Glazed and Panel In
 Screen = None
 Ratings = STC: 28, OITC: 24, PG: No Rating
 Clear Opening = W 65 5/8" x H 75 1/2" Sq. Ft. 34.41, Egress: Yes
 Calculations = Unit Area (Sq. Ft.): 41, Unit Perimeter (nominal in lineal ft): 27'
 Other Ratings = CPD: MIL-A-278-05770-00001

Customer Approval: _____

Exhibit A-4

Line: 2 **Location:** LOBBY SIDELITES
Quantity: 2 Ultra C650, 3645U, OS1P0, 1 3/8" Setback, Ext Frost / Int White, U-Factor: .28, SHGC: .19, VT: .34
Flat, Ext Frost/Int White, 13 1/4" Valance 3W1H
Argon Gas Filled
Foam fill Frame
Tariff

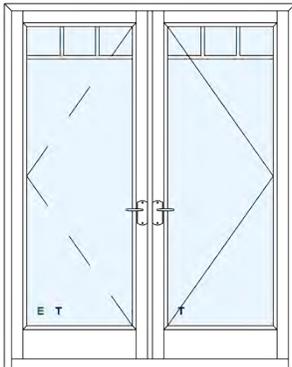


Model = Outswing One Panel
Size = RO: 37 9/16" x 80"
Net Frame: 37 1/16" x 79 1/2"
Handing = Fixed
Energy Star Zone(s) = South Central; Southern
Glass = 1/8" SunCoat (Low-E) Tempered over 1/8" Clear Tempered with Gray Foam Spacer
Glazing = Dual Glaze with Argon
Grids = Flat, Ext Frost / Int White, 13 1/4" Valance 3W1H
Wall = 4 9/16" Wall Condition, 0" Primed Jamb Extension
Other Options = Standard Sill, Glazing Policy: Glazed and Panel In
Ratings = STC: 30, OITC: 25, PG: LC-PG30
Calculations = Unit Area (Sq. Ft.): 21, Unit Perimeter (nominal in lineal ft): 20'
Other Ratings = CPD: MIL-A-246-15455-00001

Viewed From Exterior

Customer Approval: _____

Line: 3 **Location:** CAFE COACH HOUSE
Quantity: 3 Ultra C650, 3665U, OS2P2, 1 3/8" Setback, Ext Frost / Int White, U-Factor: .28, SHGC: .19, VT: .34
Flat, Ext Frost/Int White, 13 1/4" Valance 6W1H
Hinge Finish: Satin Nickel
Handle Finish: Ext Satin Nickel/Int Satin Nickel
Keyed Alike Locks
6 9/16" Wall Condition, 2" Jamb Extension
Argon Gas Filled
Foam fill Frame
Tariff



Model = Outswing Two Panel
Size = Call Out: 6076
Net Frame: 71 1/2" x 89 1/2"
Handing = Passive / Active
Energy Star Zone(s) = South Central; Southern
Glass = 1/8" SunCoat (Low-E) Tempered over 1/8" Clear Tempered with Gray Foam Spacer
Glazing = Dual Glaze with Argon
Grids = Flat, Ext Frost / Int White, 13 1/4" Valance 6W1H
Wall = 6 9/16" Wall Condition, 2" Primed Jamb Extension
Hardware = Madrona Handle, Ext Satin Nickel, Int Satin Nickel, Satin Nickel Hinge Finish, Keyed Alike
Other Options = Standard Sill, Glazing Policy: Glazed and Panel In
Screen = None
Ratings = STC: 30, OITC: 25, PG: LC-PG45
Clear Opening = W 63 3/4" x H 85 1/2" Sq. Ft. 37.85, Egress: Yes
Calculations = Unit Area (Sq. Ft.): 45, Unit Perimeter (nominal in lineal ft): 28'
Other Ratings = CPD: MIL-A-246-15455-00001

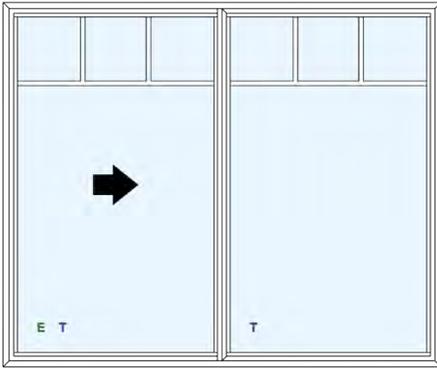
Viewed From Exterior

Customer Approval: _____

Exhibit A-4

Line: 4 **Location:** WINDOW

Quantity: 1 Ultra C650, 3110U, HV, 1 3/8" Setback, Ext Frost / Int White, U-Factor: .30, SHGC: .26, VT: .49
1/8" SunCoat (Low-E) Tempered over 1/8" Clear Tempered
Flat, Ext Frost/Int White, 13 1/4" Valance 6W1H
Argon Gas Filled
Tariff



Model = Half Vent
Size = Call Out: 6050
Net Frame: 71 1/2" x 59 1/2"
Handing = XO
Energy Star Zone(s) = None
Glass = 1/8" SunCoat (Low-E) Tempered over 1/8" Clear Tempered with Gray Foam Spacer
Glazing = Dual Glaze with Argon
Grids = Flat, Ext Frost / Int White, 13 1/4" Valance 6W1H
Hardware = White, Positive Action Lock
Screen = Standard with Fiberglass Mesh
Ratings = STC: 29, OITC: 23, PG: R-PG30
Clear Opening = W 32 1/8" x H 57 5/16" Sq. Ft. 12.79, Egress: Yes
Calculations = Unit Area (Sq. Ft.): 30, Unit Perimeter (nominal in lineal ft): 23'
Other Ratings = CPD: MIL-A-158-05763-00002

Viewed From Exterior

Customer Approval: _____

Line: 5 **Location:** DELIVERY
Quantity: 1 Delivery Charge



Customer Approval: _____



PARR LUMBER CO - HILLSBORO #2
21700 NW Wagon Way
HILLSBORO, OR 97124
503-531-7277



Submitted By: _____

Accepted By: _____

Date: _____

For warranty information please visit www.milgard.com/warranty/

Please note that actual NFRC energy values may vary from those reported in CTB Quote Plus due to variations that may occur during the manufacturing process. In most cases variations will be minimal. Please contact your Milgard location with questions or concerns regarding this potential variation.

Painted Vinyl Note: For stucco applications, please follow the Milgard Stucco Tape Guidelines https://www.milgard.com/sites/default/files/u/u57666/stucco_taping_guidelines_0920.pdf.

Handing is viewed from outside looking in.

ADDITIONAL INFORMATION:



CANNON BEACH COMMUNITY DEVELOPMENT
163 E. GOWER ST.
PO Box 368
CANNON BEACH, OR 97110

March 1, 2024

David Bissett
4788 Sheridan Dr.
Gearhart, OR 97138

RE: Completeness Determination for Design Review at 289 N. Spruce St. (File: DRB 24-06)

Dear Mr. Bissett:

Your application for Design Review for exterior modifications to an existing building at 289 N. Spruce St. was received on February 26, 2024 and found to be complete on February 29, 2024. The City has 120 days to exhaust all local review, that period ends on Friday, June 28, 2024. The first evidentiary hearing for this application will be held on Thursday March 21, 2024 at 6:00pm, you may participate in person or by Zoom.

The materials received with this application include:

- Design Review application form
- Project description
- Project schematics and surveys
- Materials information

Please be aware that the determination of a complete application is not a decision or a guarantee of outcome for the application.

Please feel free to contact my office at (503) 436-8053, or by email at stclair@ci.cannon-beach.or.us if you have questions regarding this application matters.

Sincerely,

A handwritten signature in black ink, appearing to be 'R. St. Clair'.

Robert St. Clair
Planner